

Assr.-Pcl. 30-2.15
 "N/F Mitchell & Danielle
 Lee Trustees"

Assr.-Pcl. 30-2.89
 Deep Bottom Pond
 Property Owners

Assr.-Pcl. 30-2.16
 Deep Bottom Pond
 Property Owners

#130 Pond Road
 Assr.-Pcl. 30-2.16
 Area = ±2.27 AC

- Legend:
- Denotes Oak Tree
 - Denotes Planting Bed

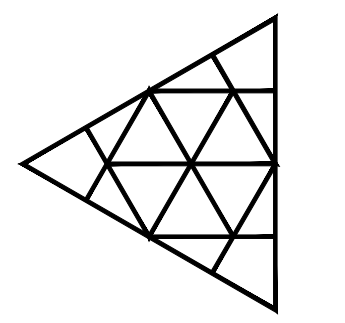
Elevation Datum: ±U.S.G.S.

Notes:
 Zoning District: RU- Rural
 Setbacks: 50' Front /Side /Rear

* Setbacks to be confirmed by town official

1 PROPOSED SITE LAYOUT PLAN
 * ON A SITE PLAN BY VINEYARD LAND SURVEYING & ENGINEERING, INC

SCALE: 1" = 20'-0"



ISSUED FOR	DATE	DRAWN	CHECK
PERMIT / CONSTRUCTION SET	11/14/23	LEL	TOA

MARTHA'S VINEYARD
ENGINEERING & DESIGN
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8535 INFO@MVENGINEERING.DESIGN

SCALE:
 1" = 20'-0"

JOB NUMBER:
 22087

ADDRESS:
 130 POND RD
 WEST TISBURY, 02575
 PARCEL ID: 30-2-16

PLAN NAME:
 PROPOSED
 SITE LAYOUT PLAN

DATE:
 14 NOV 2023

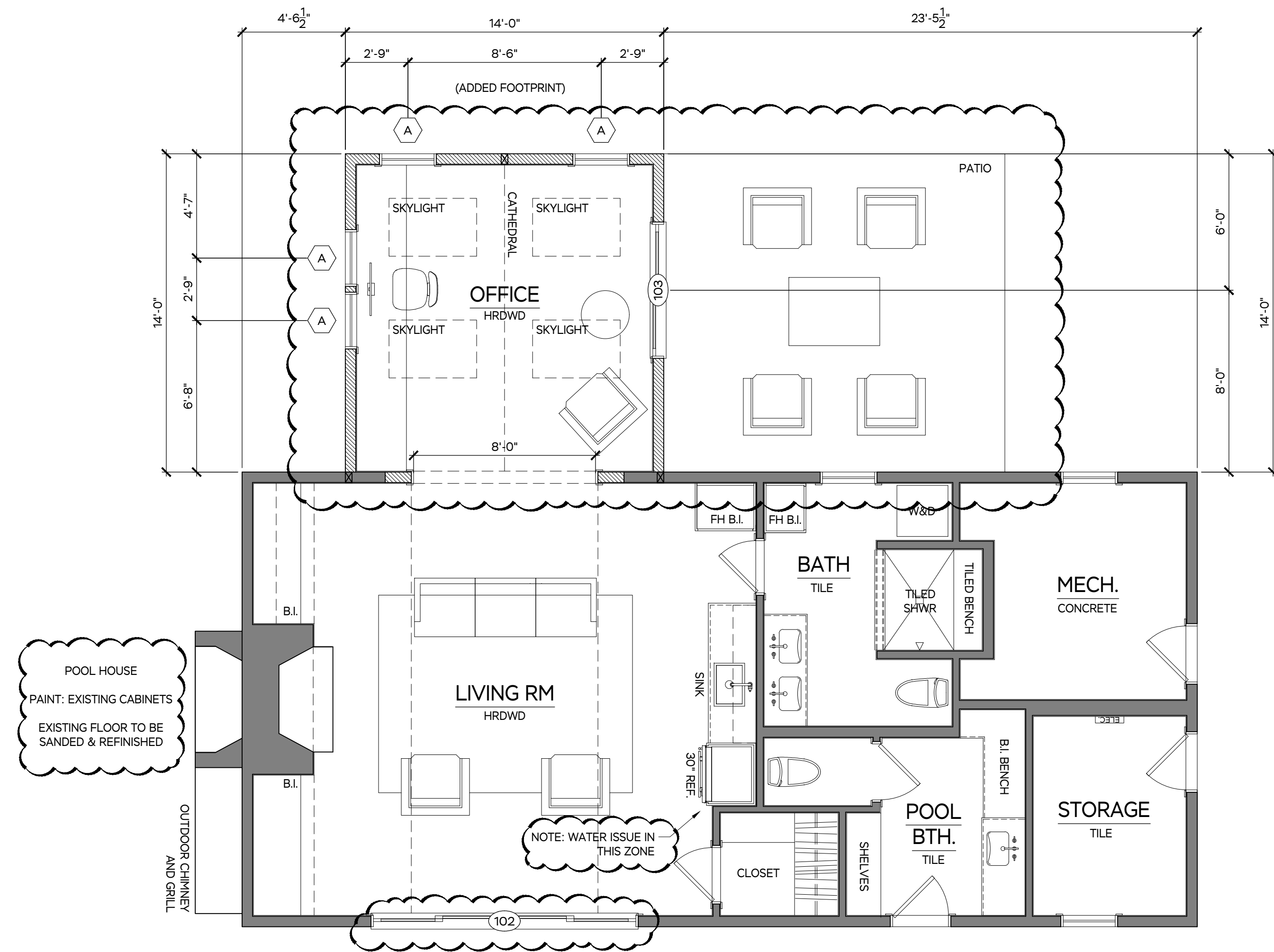
A.00

WINDOW SCHEDULE											
SYM	MFG	STYLE	UNIT #	FRAME	R.O. SIZE	EXTERIOR FINISH	INTERIOR FINISH	HARDWARE	EGRESS	MUNTINS	NOTES
A	ANDERSON 400 S	DOUBLE HUNG	TW2446	2'-5 1/2" x 4'-8 1/2"	2'-6 1/2" x 4'-8 1/2"	MATCH EXIST.	MATCH EXIST.	MATCH EXIST.	NO	6 OVER 6	SEE PLANS/ELEVS/ SCREEN
B	VELUX	SKYLIGHT	MO6	30 3/8" x 46 3/4"	30 3/8" x 45 3/4"	MATCH EXIST.	MATCH EXIST.	MATCH EXIST.	NO	1 LIGHT	SEE PLANS/ ELEVS/

EXTERIOR DOOR SCHEDULE											
SYM	ROOM	MFG	UNIT #	FRAME SIZE	R.O. DOOR	TYPE/ SWING	EXTERIOR FINISH	INTERIOR FINISH	HARDWARE	MUNTINS/ STICKING	NOTES
101	LIVING	ANDERSON 400 S	FWP16080	15'-9" x 7'-11 1/2"	15'-9 1/2" x 8'-0"	QUAD SLIDER	MATCH EXIST.	MATCH EXIST.	MATCH EXIST.	1 LIGHT	SCREEN/ SEE PLANS/ ELEVS
102	PH ENTRY	ANDERSON 400 S	FWG120611	11'-9" x 6'-10 1/2"	11'-9 1/2" x 6'-11"	QUAD SLIDER	MATCH EXIST.	MATCH EXIST.	MATCH EXIST.	1 LIGHT	SCREEN/ SEE PLANS/ ELEVS
103	PH OFFICE	ANDERSON 400 S	FWG60611	5'-11 1/2" x 6'-10 1/2"	6'-0" x 6'-11"	SLIDER	MATCH EXIST.	MATCH EXIST.	MATCH EXIST.	1 LIGHT	SCREEN/ SEE PLANS/ ELEVS

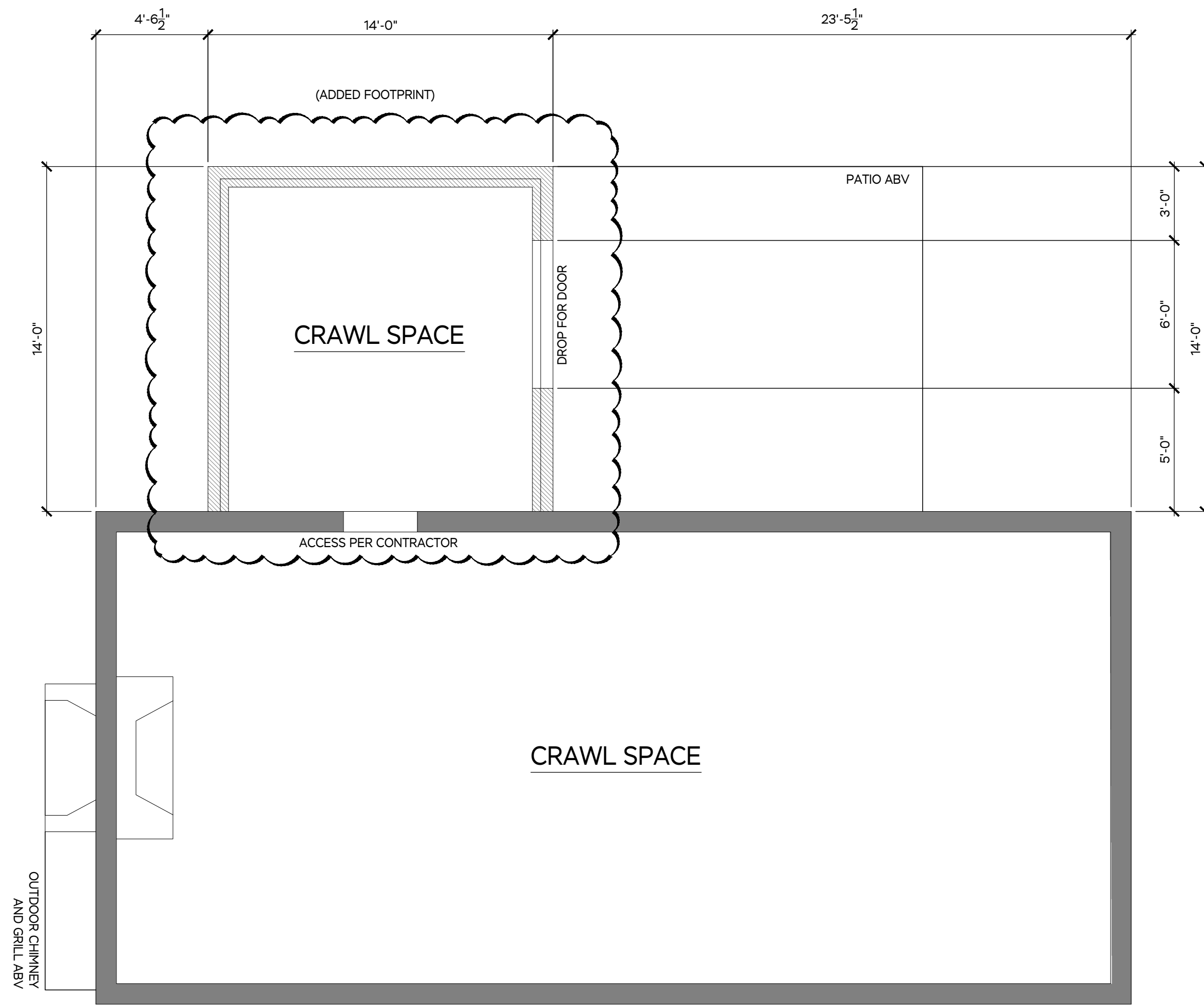
INTERIOR DOOR SCHEDULE											
SYM	ROOM	MFG	UNIT #	SLAB SIZE	R.O. DOOR	TYPE/ SWING	FINISH	HARDWARE	MUNTINS/ STICKING	NOTES	
001	CEDAR CLOSET	TBD	TBD	2'-6" x 6'-8"	2'-8 1/2" x 6'-10"	LEFT/ IN	MATCH EXIST.	MATCH EXIST.	MATCH EXIST.	SEE PLANS/ MATCH EXIST.	

NOTES:
 ALL WINDOWS AND DOORS TO BE REVIEWED & CONFIRMED BY CONTRACTOR. VERIFY EXISTING R.O.'S WORK WITH SELECTED UNITS.
 EACH BEDROOM TO HAVE ONE (1) CODE COMPLIANT EGRESS WINDOW PER CODE
 ALL WINDOWS TO BE ORDERED FOR 2X4 WALL CONSTRUCTION, CONTRACTOR TO FABRICATE AND INSTALL EXTENSION JAMBS IF NEEDED
 ALL EXTERIOR DOORS TO BE ORDERED FOR 2X6 WALL CONSTRUCTION, CONTRACTOR TO FABRICATE AND INSTALL EXTENSION JAMBS IF NEEDED
 ALL HINGED DOORS TO COME WITH EXTENDED STRIKE PLATES
 SEE PLANS/ ELEVATIONS FOR OPERATION, CONFIGURATIONS AND POSSIBLE NOTES



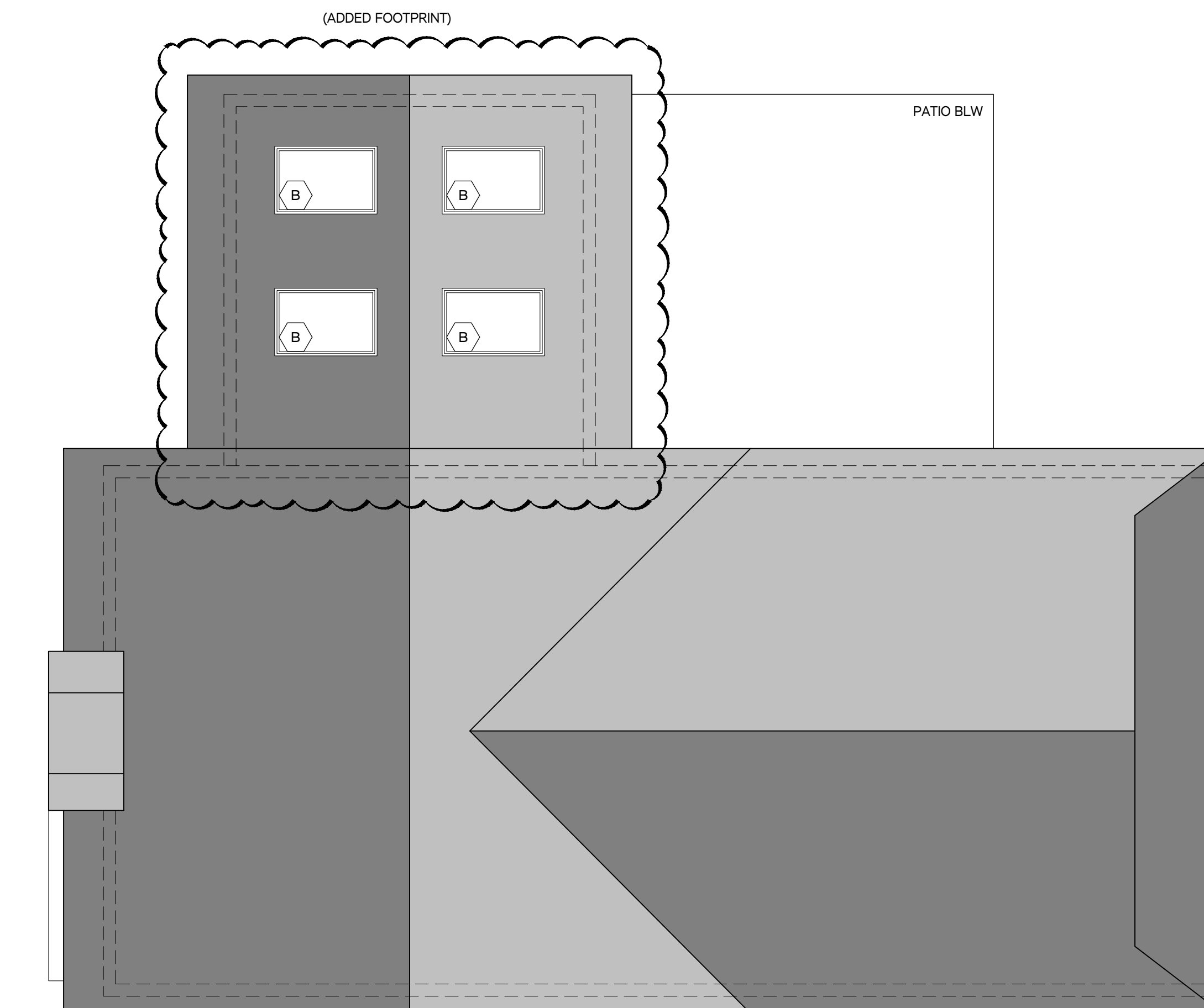
2 PROPOSED FIRST LEVEL

SCALE: 1/4" = 1'-0"



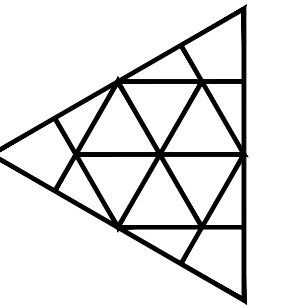
1 PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



3 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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 ENGINEERING & DESIGN**
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8535 INFO@MVENGINEERING.DESIGN

SCALE:
 1/4" = 1'-0"

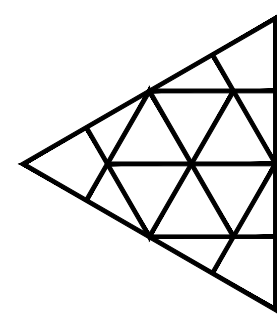
JOB NUMBER:
 22087

ADDRESS:
 130 POND RD
 WEST TISBURY, 02575
 PARCEL ID: 30-2-16

PLAN NAME:
 PROPOSED POOL HOUSE

DATE:
 14 NOV 2023

A.04



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1/4" = 1'-0"

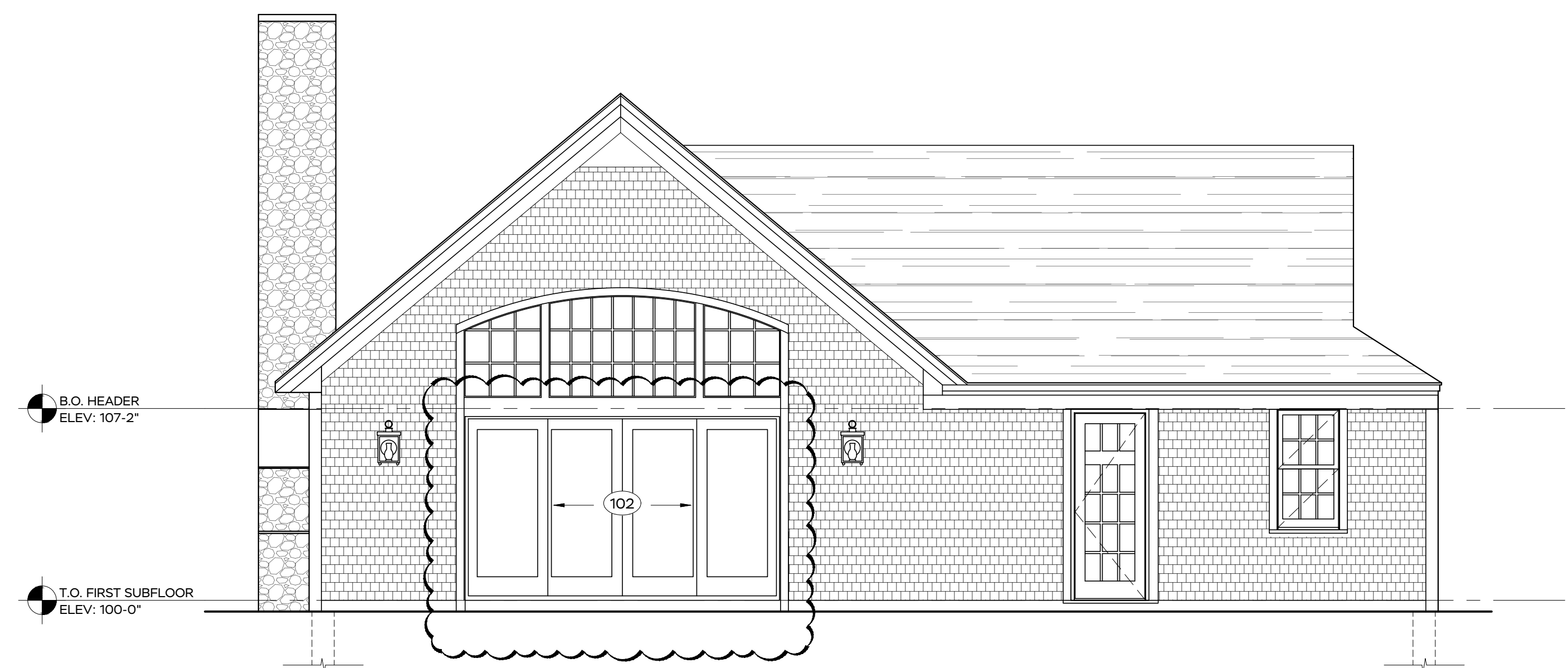
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22087

ADDRESS: **130 POND RD
WEST TISBURY, 02575
PARCEL ID: 30-2-16**

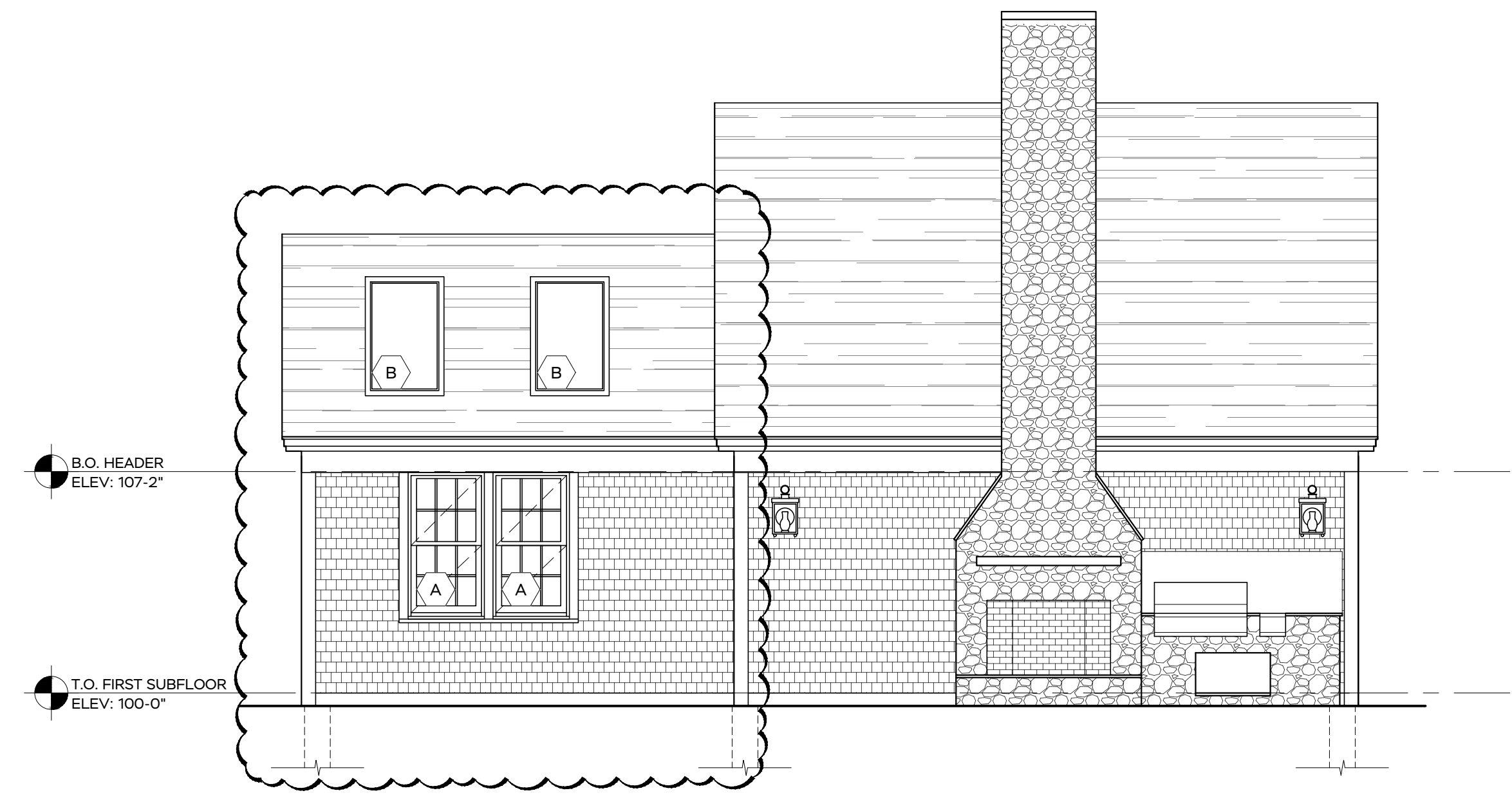
PLAN NAME: **POOL HOUSE
PROPOSED EXTERIOR
ELEVATIONS**

DATE:
14 NOV 2023

A.07



1 PROPOSED WEST ELEVATION SCALE: 1/4" = 1'-0"



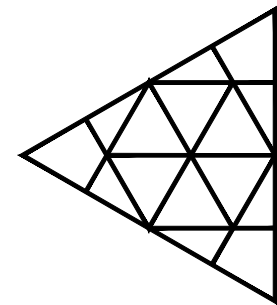
2 PROPOSED NORTH ELEVATION SCALE: 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION SCALE: 1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION SCALE: 1/4" = 1'-0"



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SCALE:
1/2" = 1'-0"

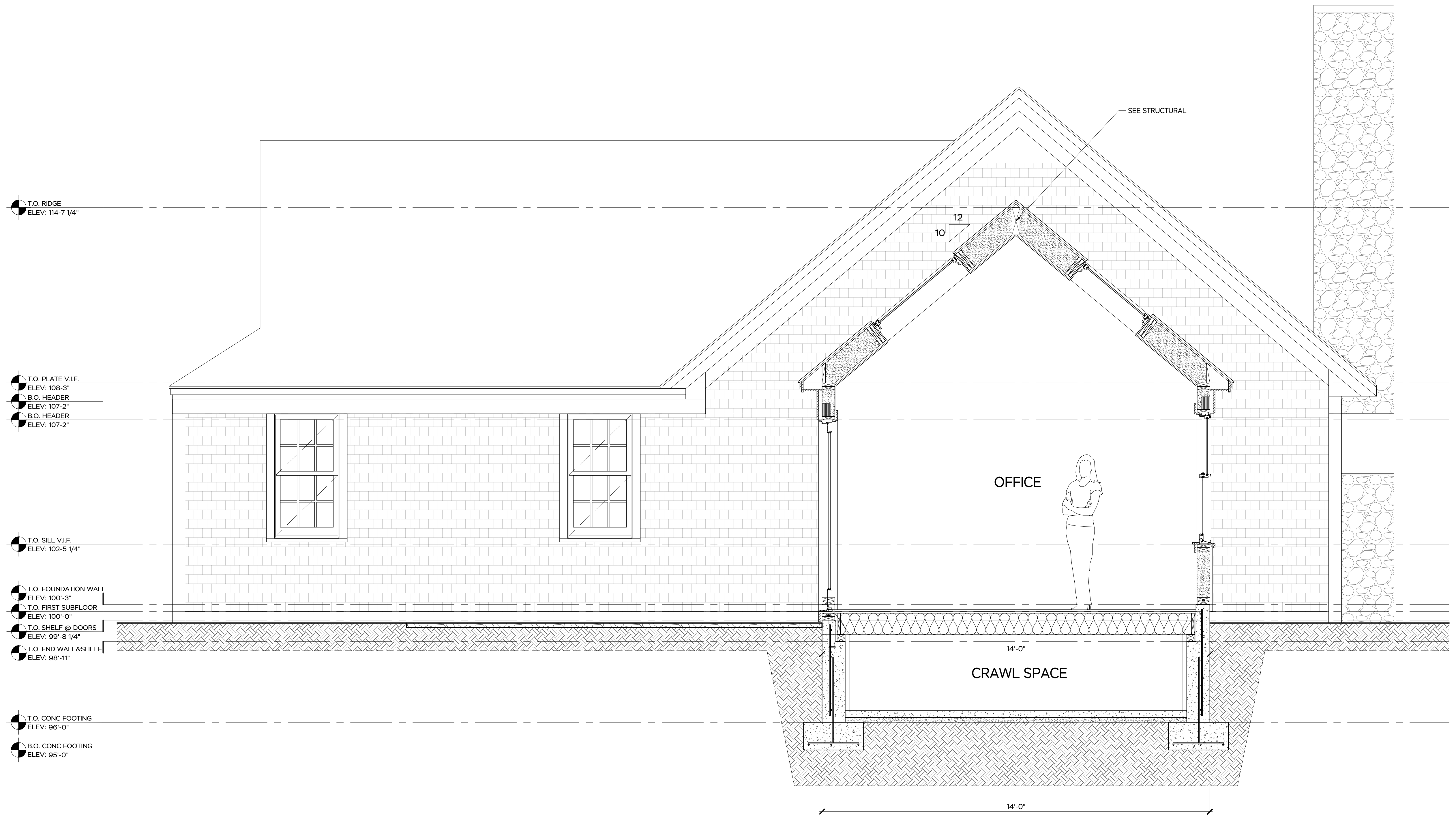
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ADDRESS:
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PARCEL ID: 30-2-16

PLAN NAME:
PROPOSED GUEST
HOUSE SECTION A-A

DATE:
14 NOV 2023

A.08



T.O. RIDGE
ELEV: 114'-7 1/4"

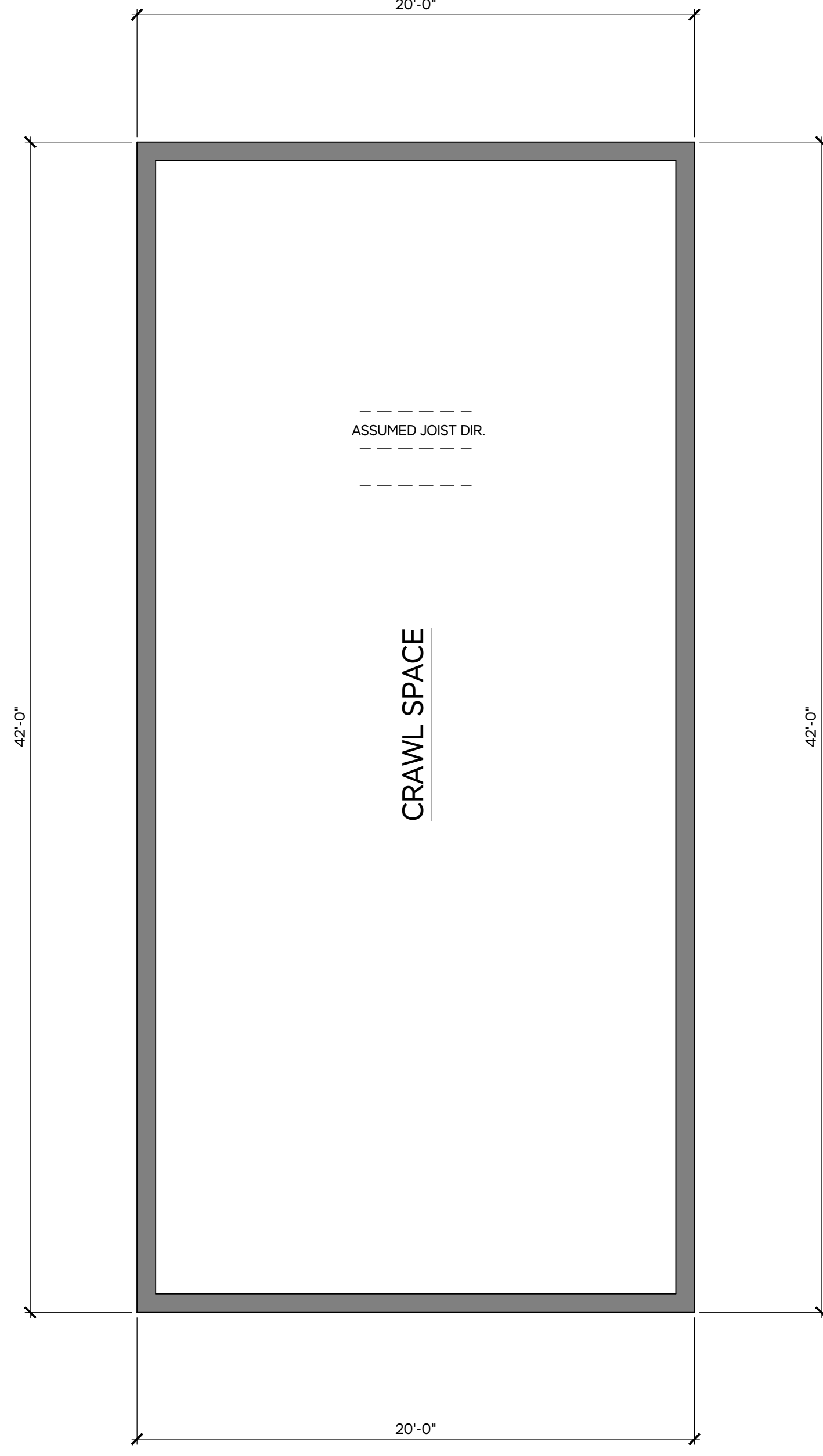
T.O. PLATE V.I.F.
ELEV: 108'-3"
B.O. HEADER
ELEV: 107'-2"
B.O. HEADER
ELEV: 107'-2"

T.O. SILL V.I.F.
ELEV: 102'-5 1/4"

T.O. FOUNDATION WALL
ELEV: 100'-3"
T.O. FIRST SUBFLOOR
ELEV: 100'-0"
T.O. SHELF @ DOORS
ELEV: 99'-8 1/4"
T.O. FND WALL & SHELF
ELEV: 98'-11"

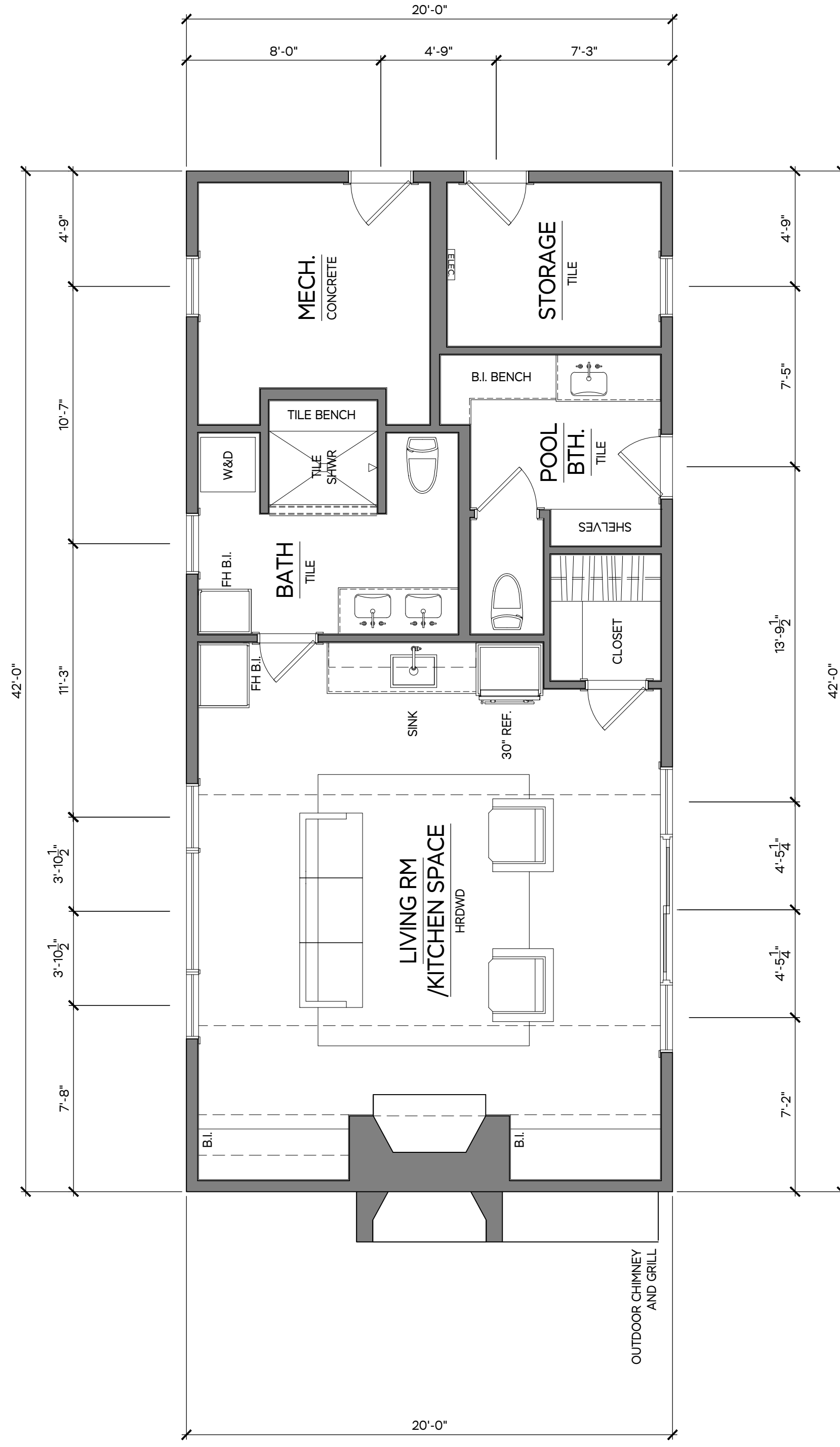
T.O. CONC FOOTING
ELEV: 96'-0"
B.O. CONC FOOTING
ELEV: 95'-0"

A PROPOSED SECTION A-A SCALE: 1/2" = 1'-0"



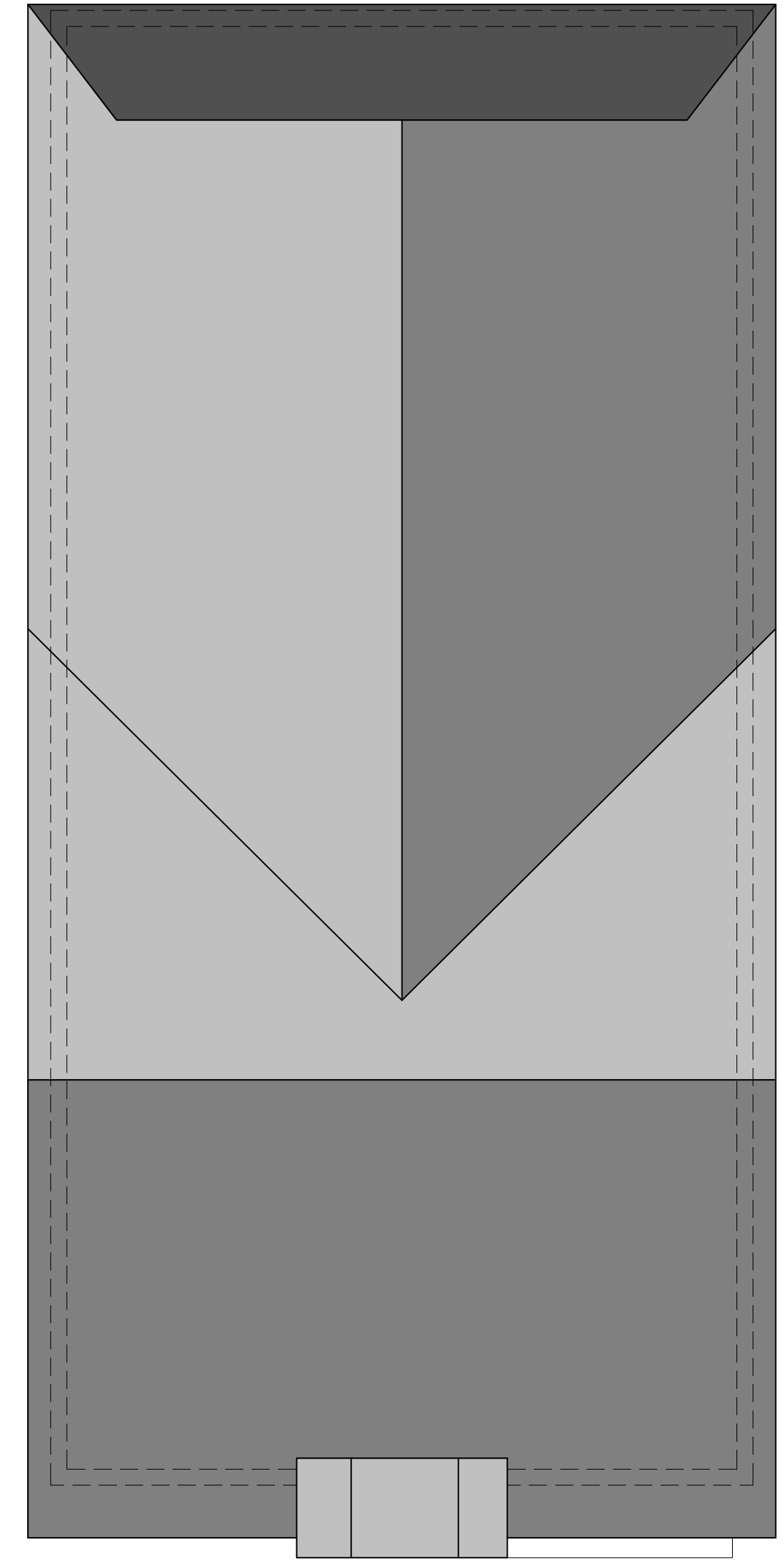
1 EXISTING FOUNDATION LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 EXISTING FIRST LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



3 EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

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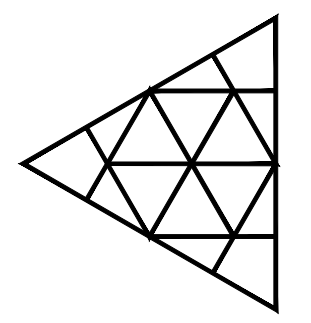
PLAN NAME:
EXISTING GUEST HOUSE
FLOOR PLANS

SCALE:
1/4" = 1'-0"

JOB NUMBER:
22087

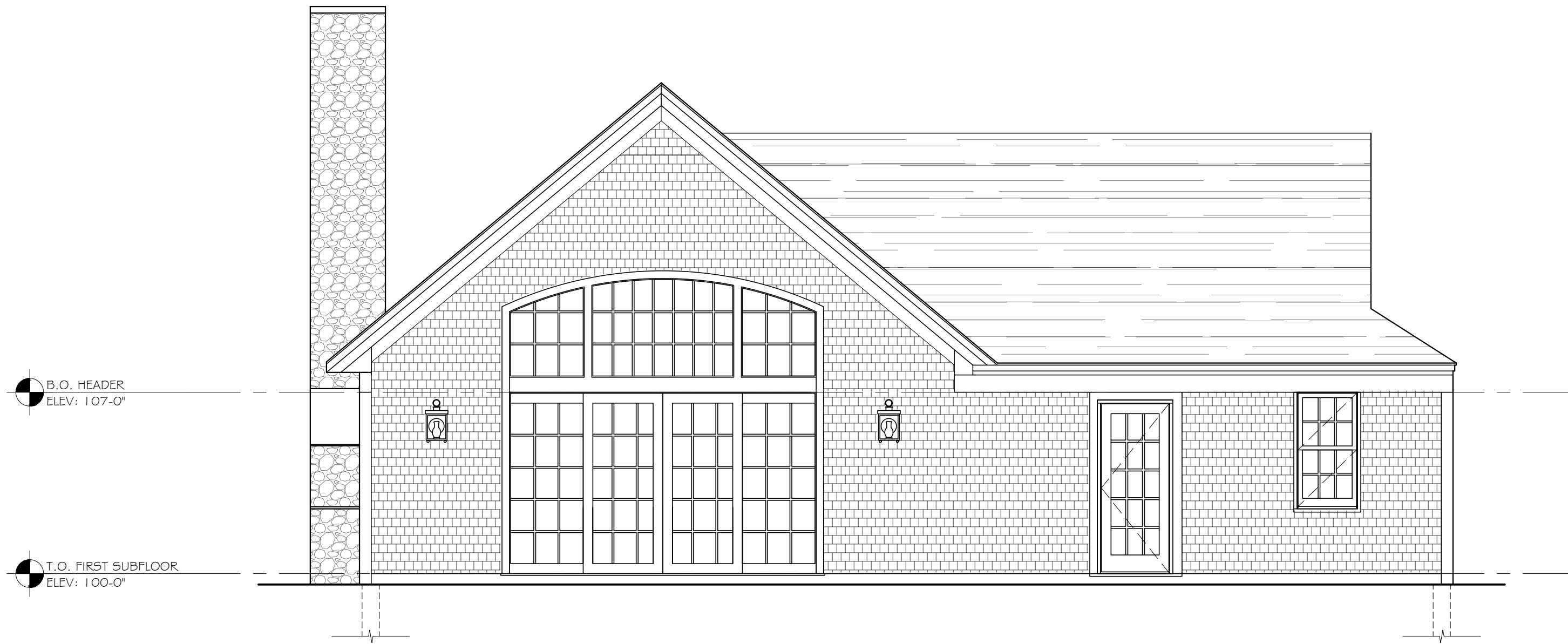
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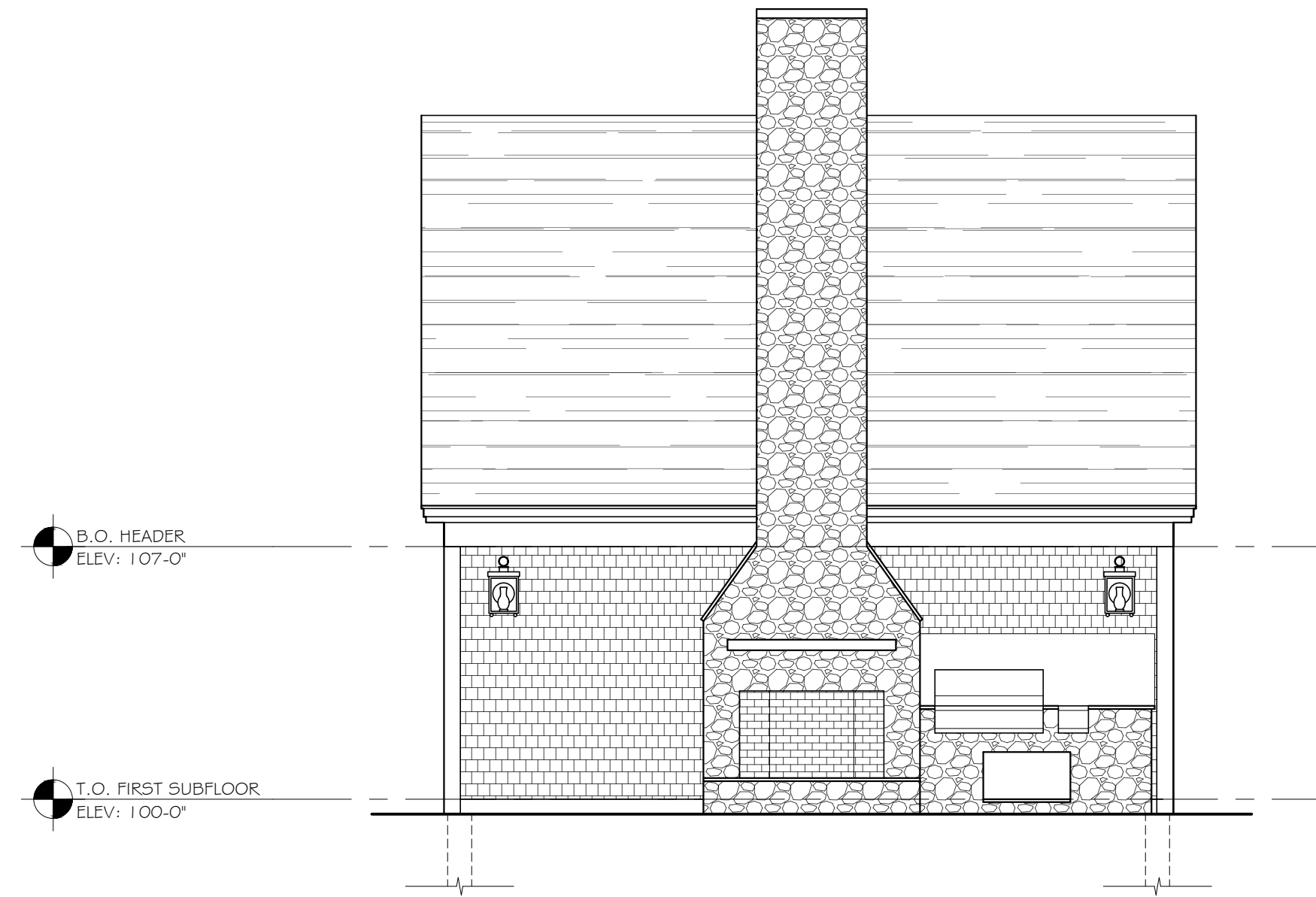
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EX.04



1 EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



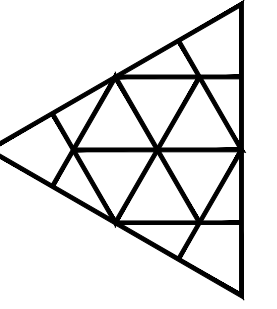
3 EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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PLAN NAME:
GUEST HOUSE EXISTING
EXTERIOR ELEVATIONS

DATE:
14 NOV 2023

EX.07