

Webster Residence

Renovations and Additions

2 Simran Road
West Tisbury, MA 02575
Map 2, Lot 8: 3.08 acres
Map 55A, Lot 1.2: 0.27 acres

Owner

Candice Webster
Webster.candy321@gmail.com
(508) 627-0888

Contractor

Tom O'Brien, O'Briens Fine Home Builders, Inc
Obriensfine1@comcast.net
(508) 400-3521

Architectural Plans

Jenny Young and Donald Corner, Architects
jyoung@uoregon.edu
(541) 510-2111

Structural Plans

Casey Decker, PE
Martha's Vineyard Engineering & Design
P.O. Box 919, 79 Beach Road, Vineyard Haven, MA 02568
(774) 563-8535

Survey and Pool Design

Vineyard Land and Survey & Engineering
P.O. Box 421, West Tisbury, MA 02575
P 508-693-3774
VLSE.net

HERS Rating

Ken Bailey, Certified Energy Rater
(508) 525-5253

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Survey

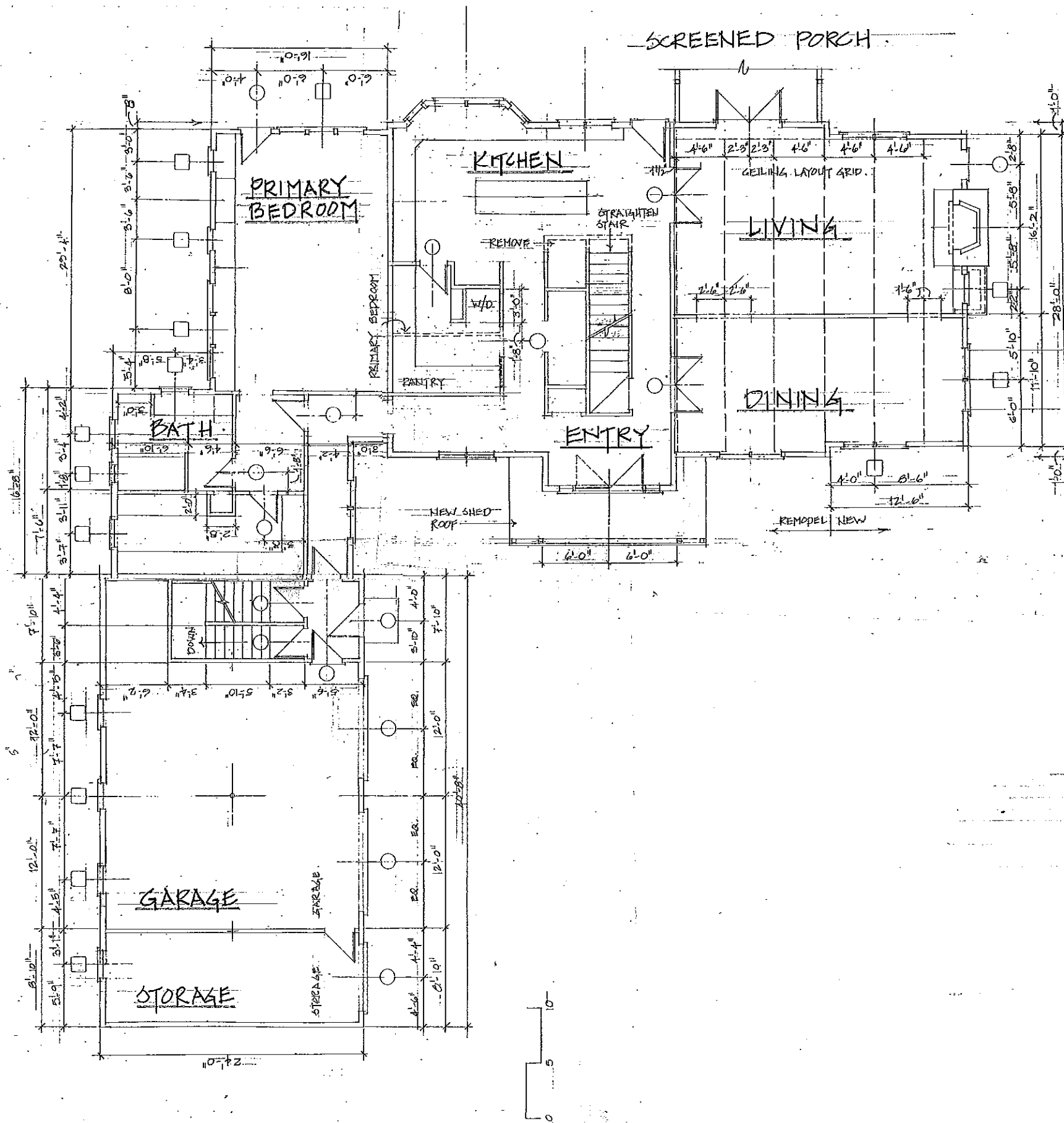
Vineyard Land Survey and Engineering, October 31, 2022

Preliminary HERS Rating

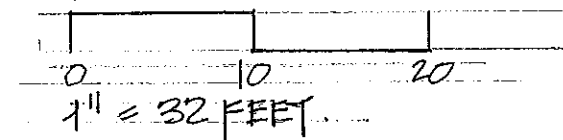
Ken Bailey, Certified Energy Rater

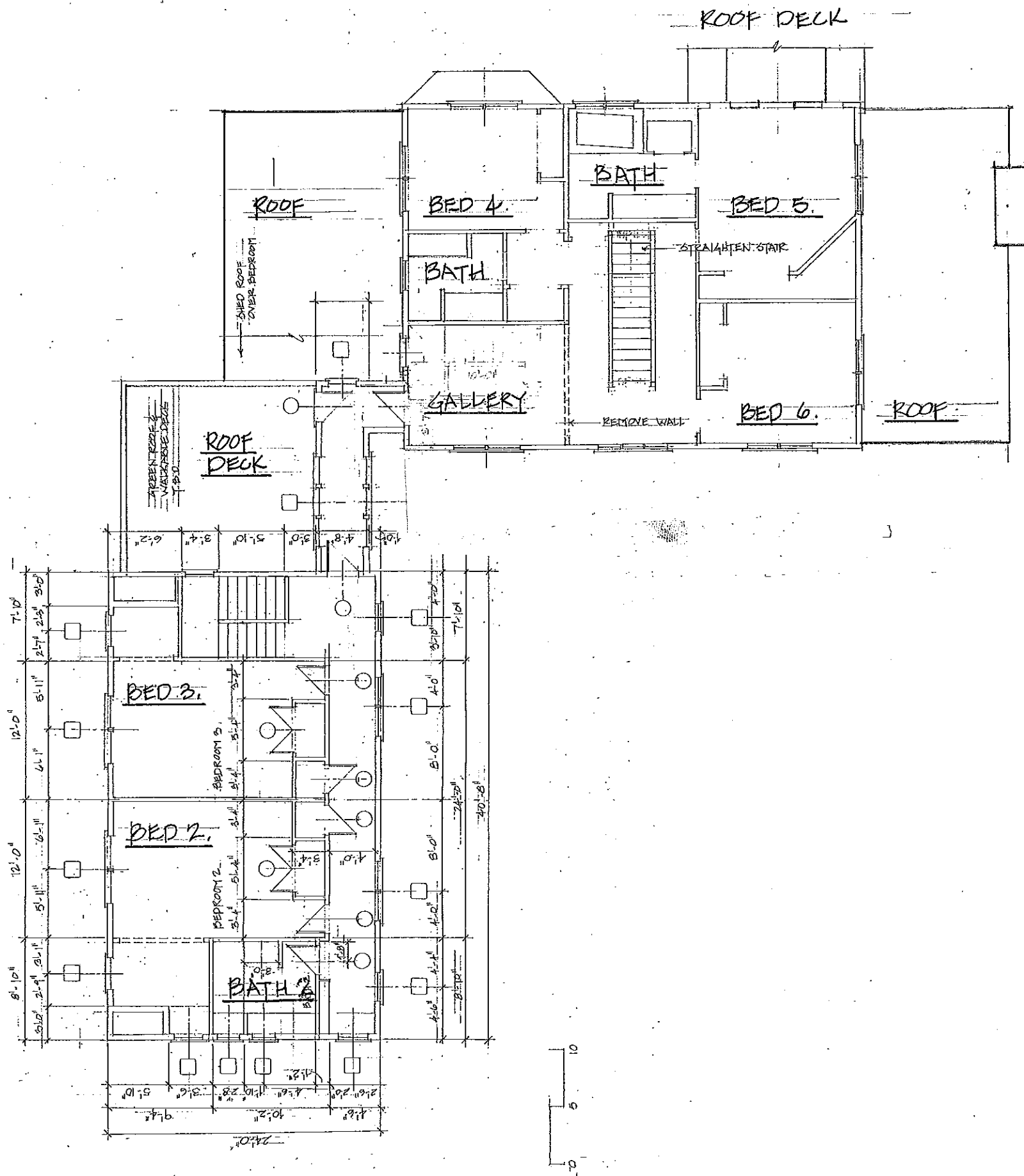
Structural Plans (Martha's Vineyard Engineering & Design)

- S1-7 Structural Drawings for Renovations and Additions to the Main House
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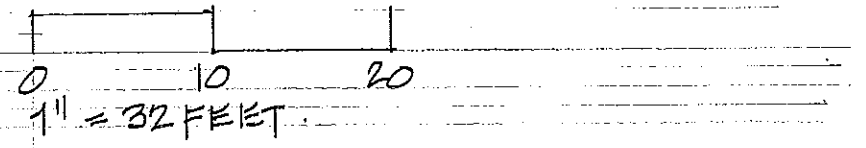


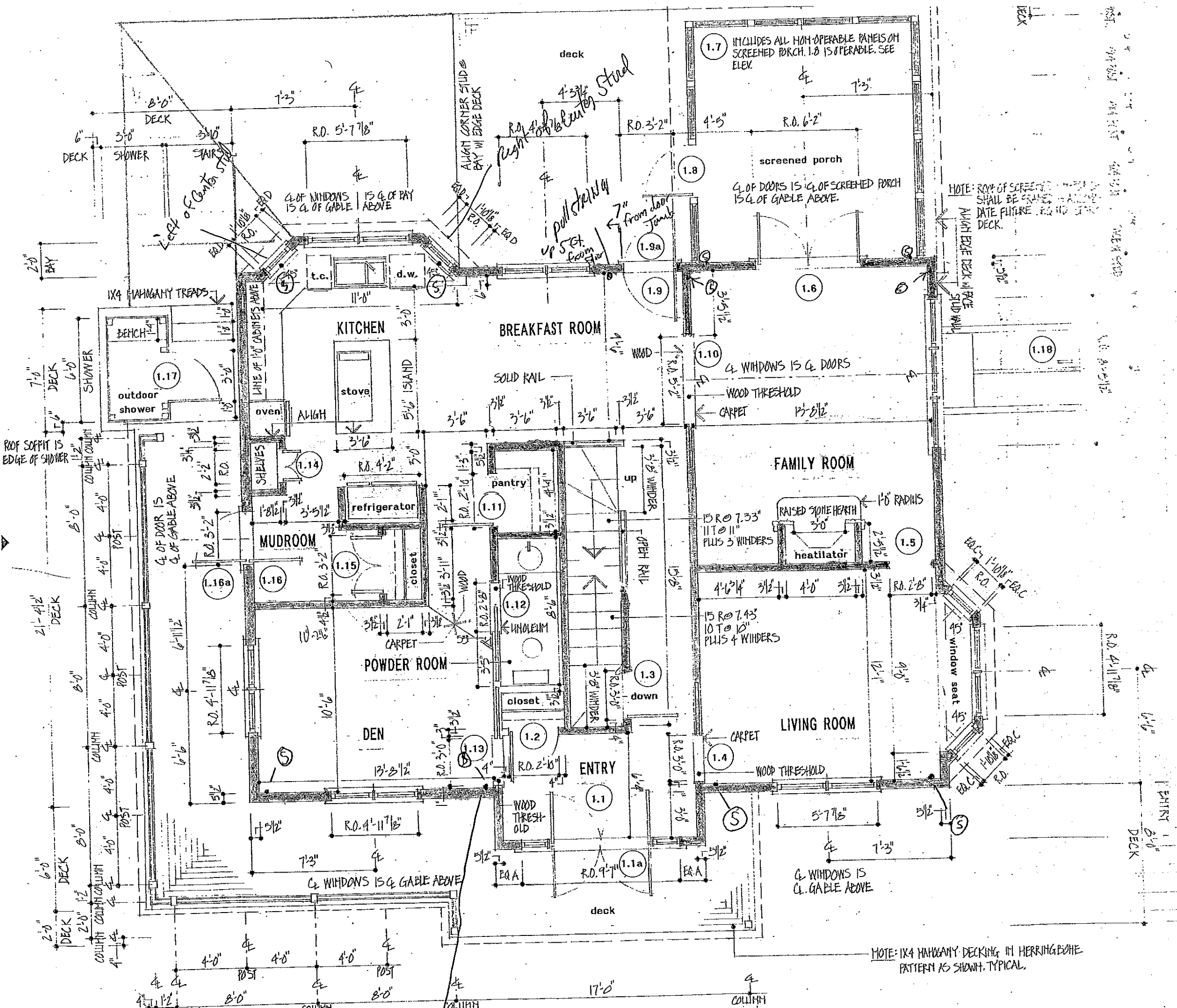
WEBSTER RESIDENCE
 SIMRAN ROAD
 WEST TISBURY
 PROPOSED ADDITIONS
 FIRST FLOOR



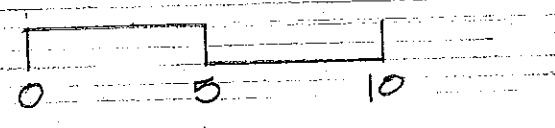


WEBSTER RESIDENCE
 SIMRAN ROAD
 WEST TISBURY
 PROPOSED ADDITIONS
 SECOND FLOOR



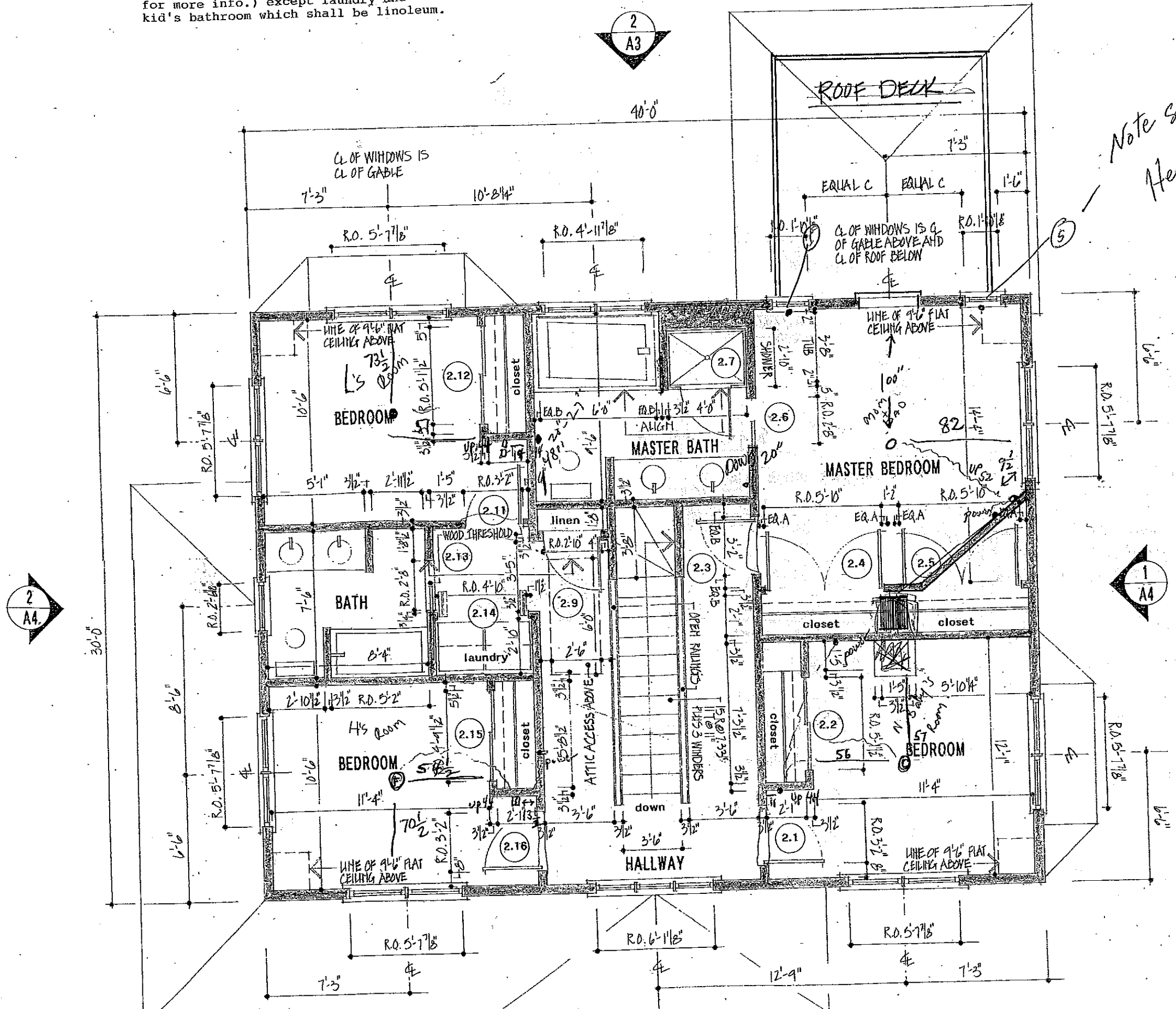


WEBSTER RESIDENCE
 SIMRAH ROAD
 WEST TISBURY
 EXISTING FIRST FLOOR
 SCALE: 3/16" = 1'-0"



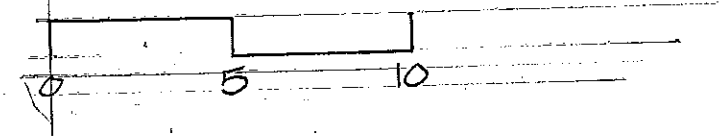
NOTE: 1x4 HAWKANY DECKING IN HERRINGBONE PATTERN AS SHOWN, TYPICAL.

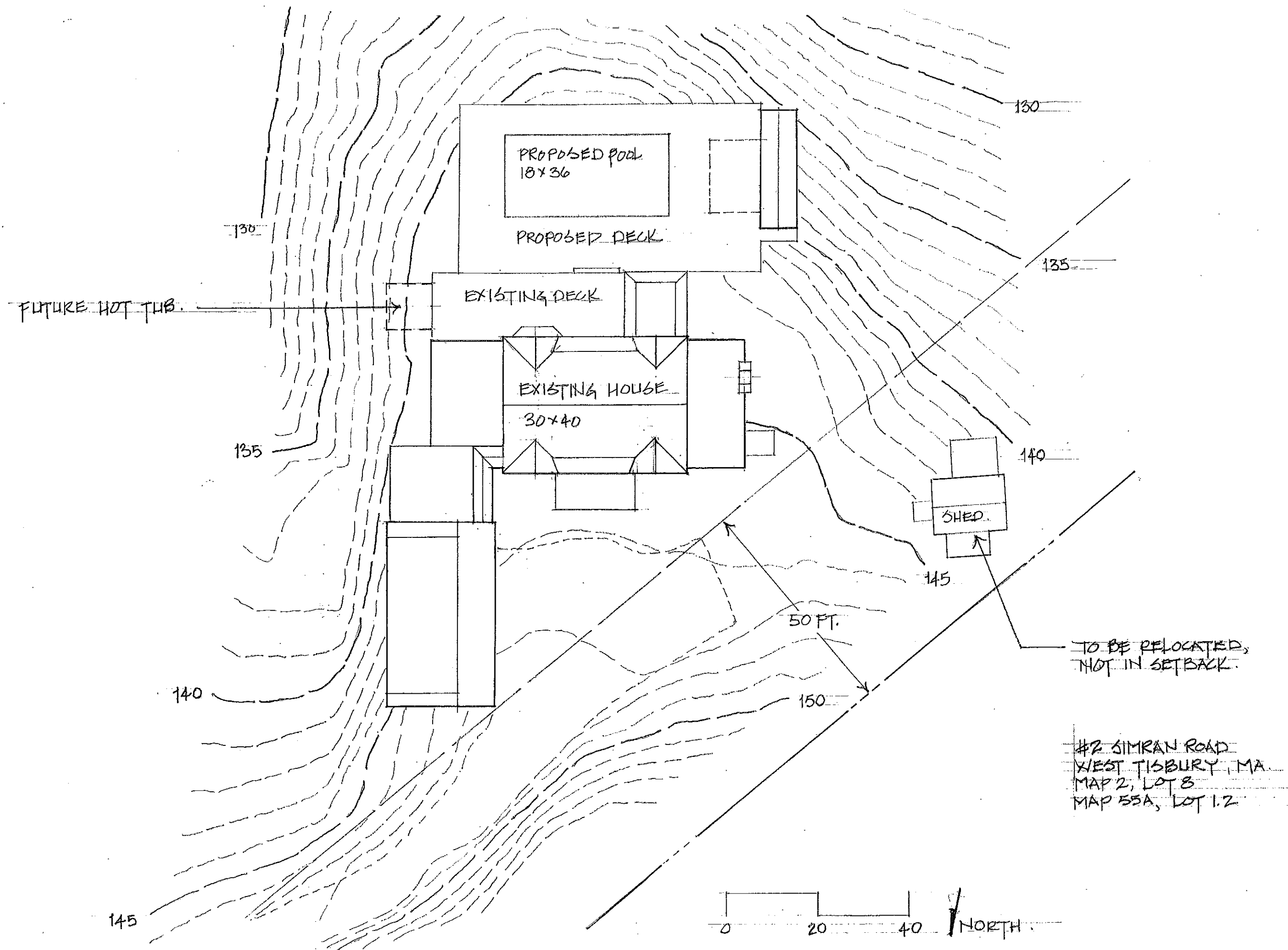
- be 42" A.F.F.; each with an 18" wide shelf.
- 4. Laundry shall have one 18" wide shelf A.F.F.
- 5. Linen closet shall have 5. 16" wide adjustable shelves.
- 6. Northwest bedroom shall have 5. 16"x 24"-0" adjustable shelves.
- 7. All rooms shall be carpeted (see spec. for more info.) except laundry and kid's bathroom which shall be linoleum.



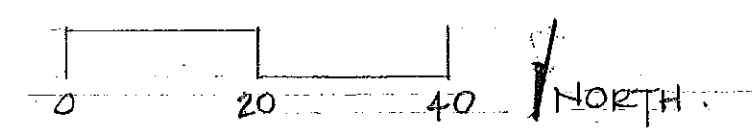
Note speaker wire centered Header Height

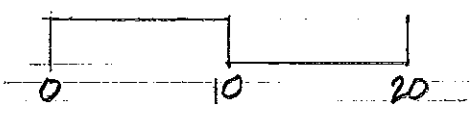
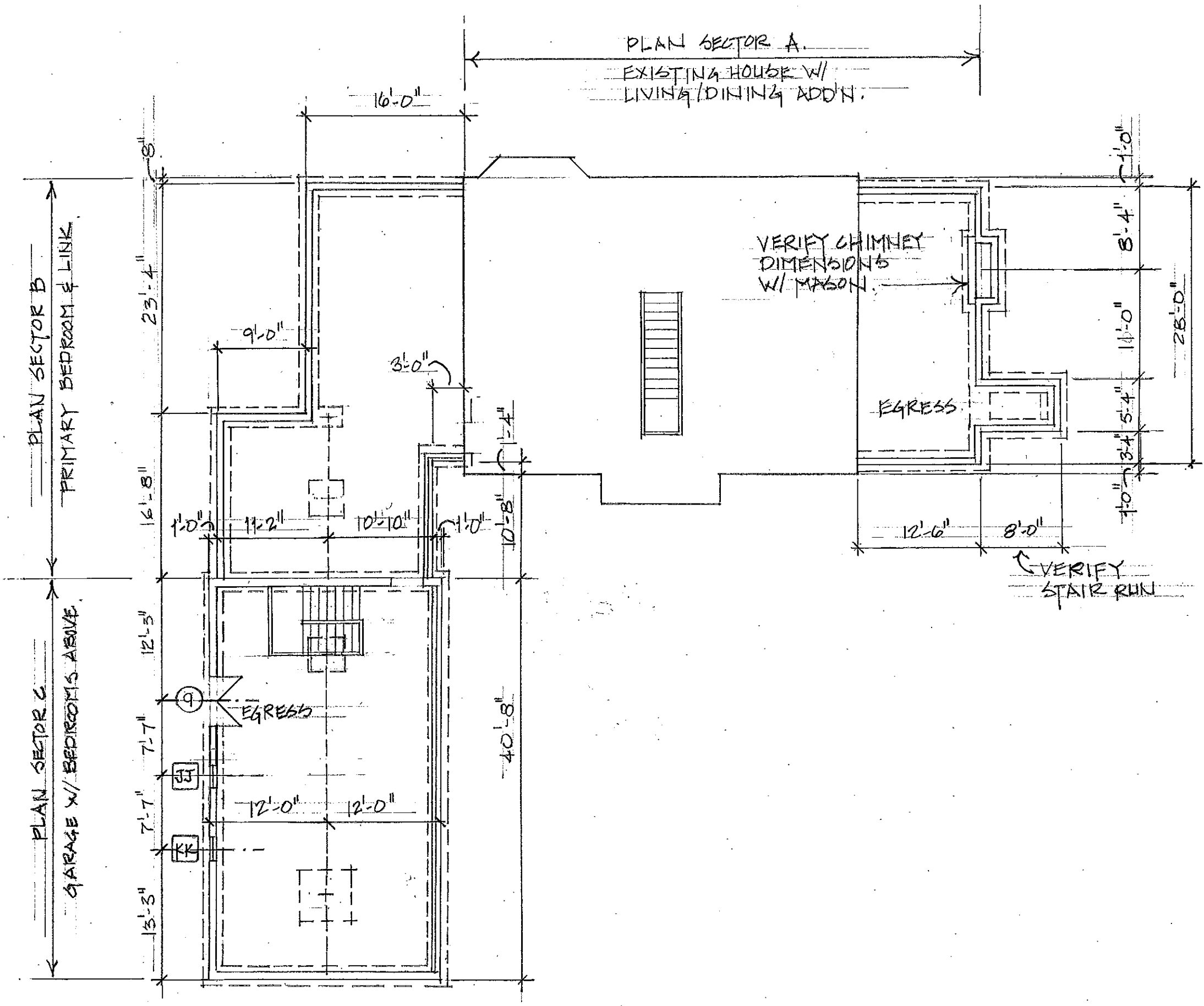
WEBSTER RESIDENCE
 SIMRAN ROAD
 WEST TISBURY
 EXISTING SECOND FLOOR
 SCALE: 3/16" = 1'-0"



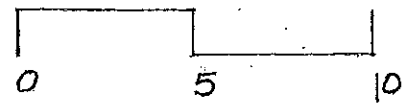
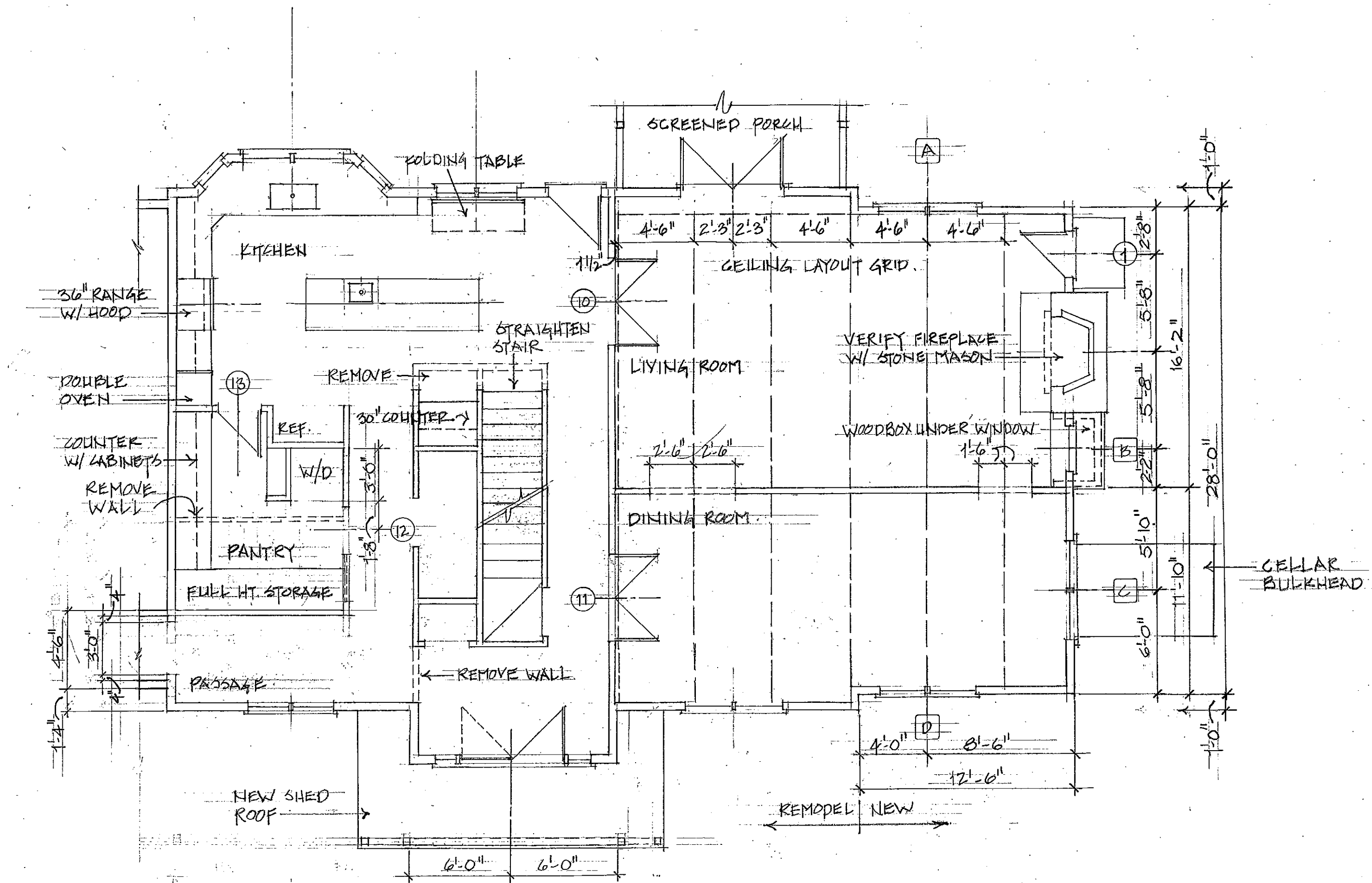


#2 SIMRAN ROAD
 WEST TISBURY, MA.
 MAP 2, LOT 8
 MAP 55A, LOT 1.2



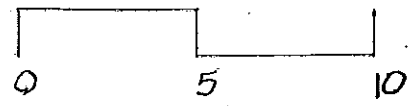
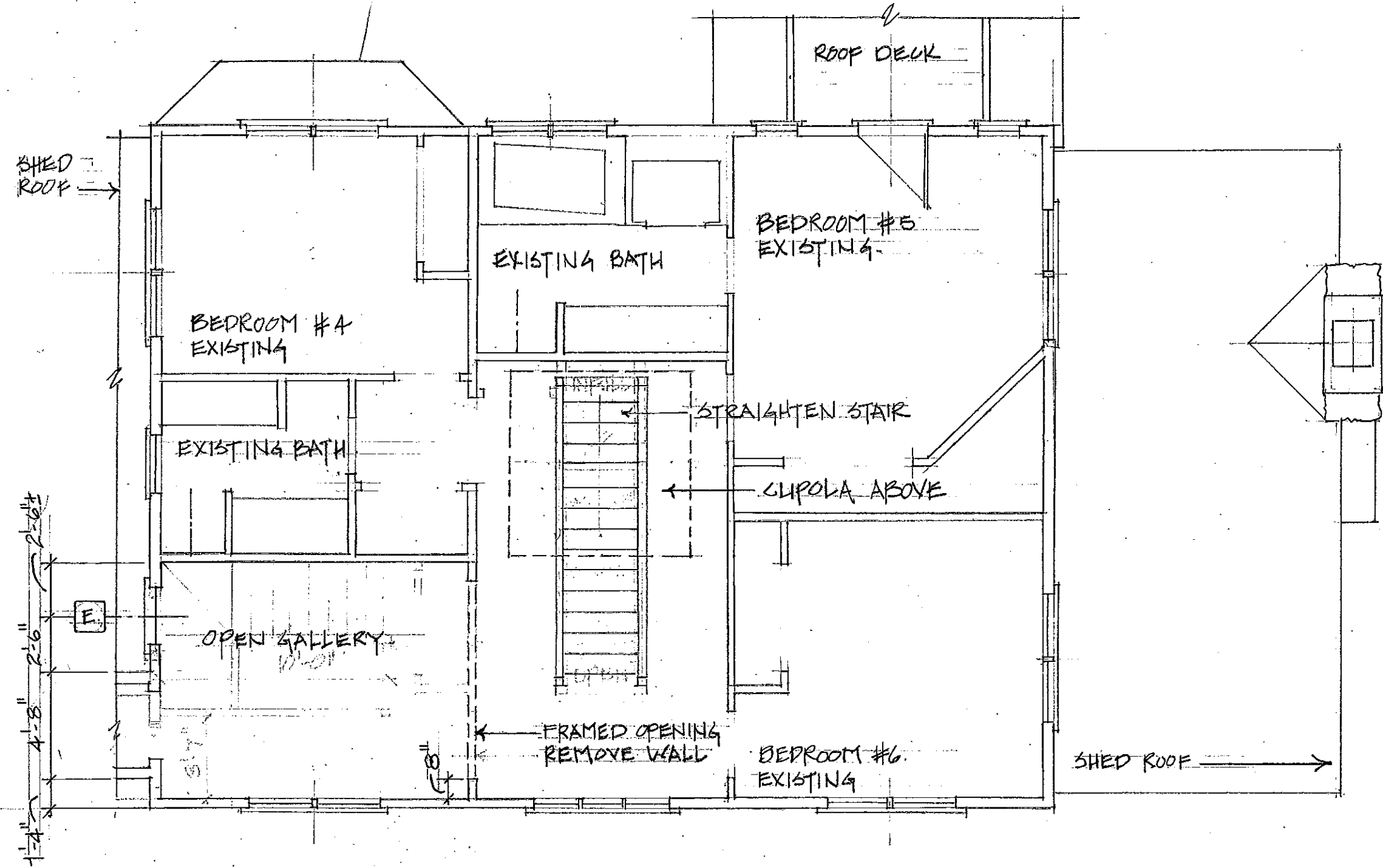


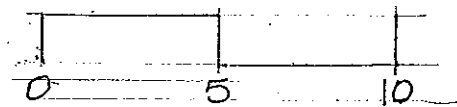
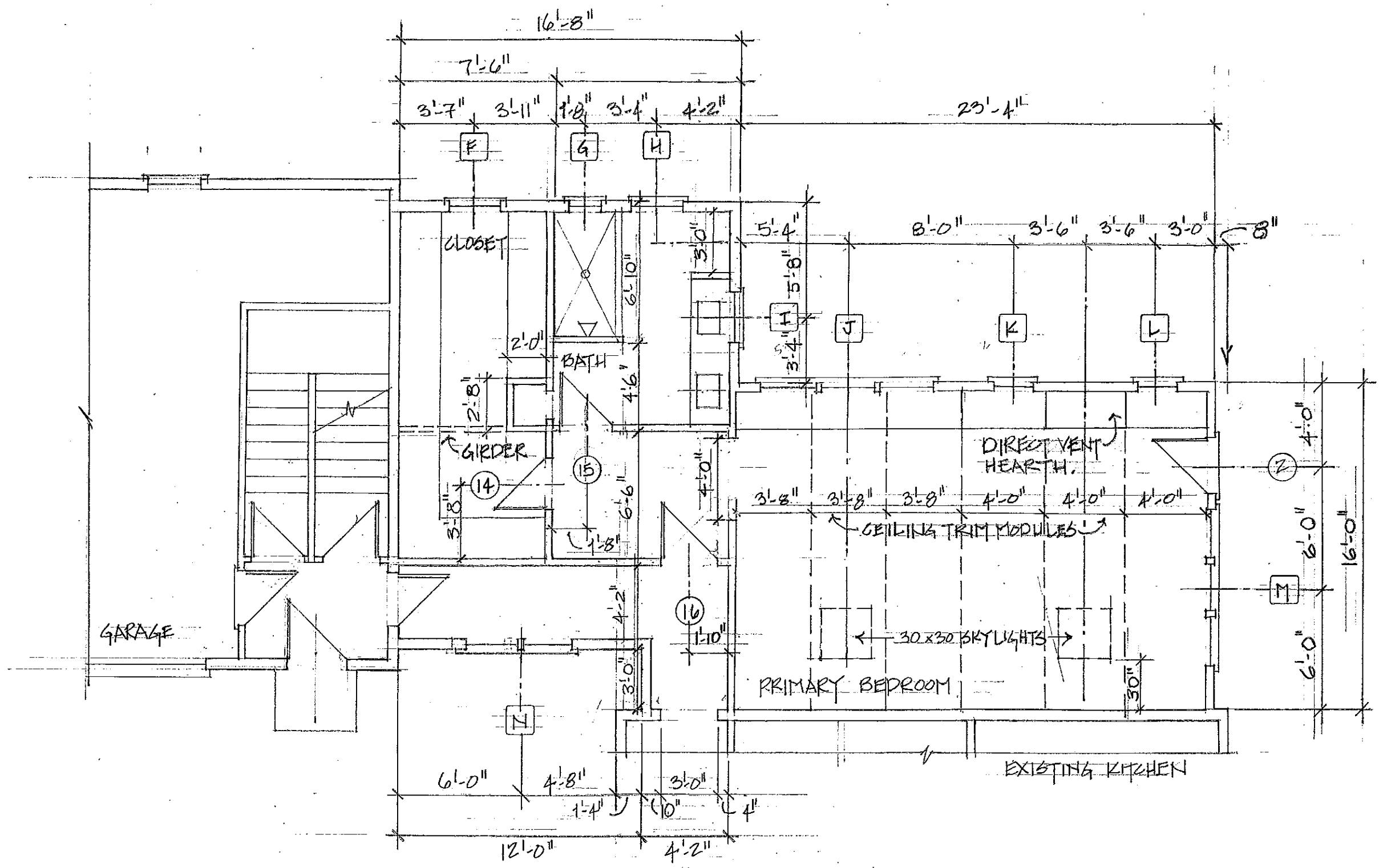
2 WEBSTER RESIDENCE 3/32" = 1'-0"
 BASEMENT PLAN
 TERRY YOUNG & DONALD CORNER ARCHITECTS
 12.10



TENNY YOUNG & DONALD CORNER
ARCHITECTS

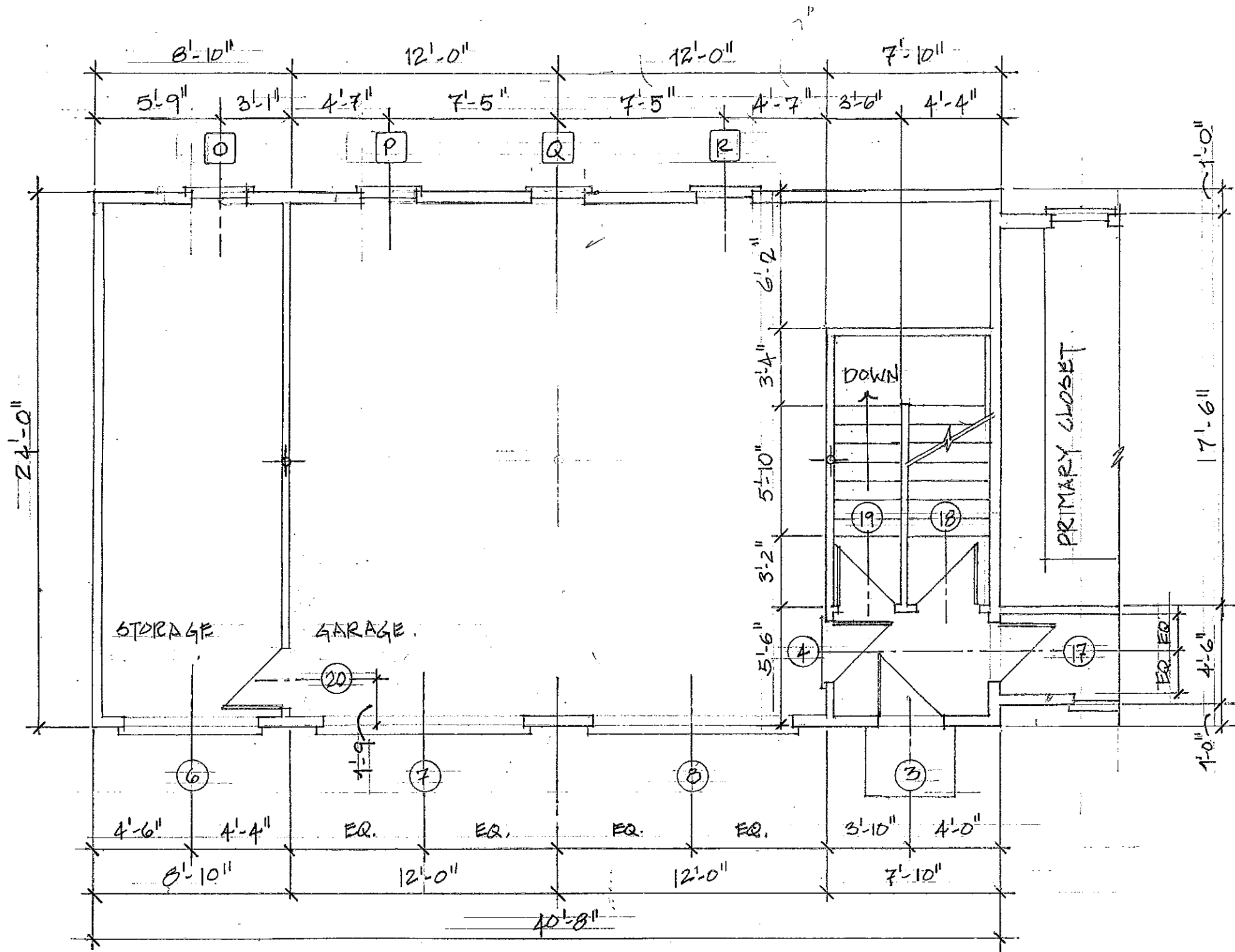
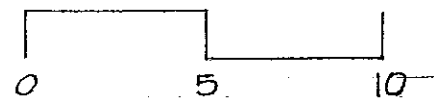
WEBSTER RESIDENCE 3/16" = 1'-0"
EXISTING FIRST FLOOR W/ LIVING EXTENSION





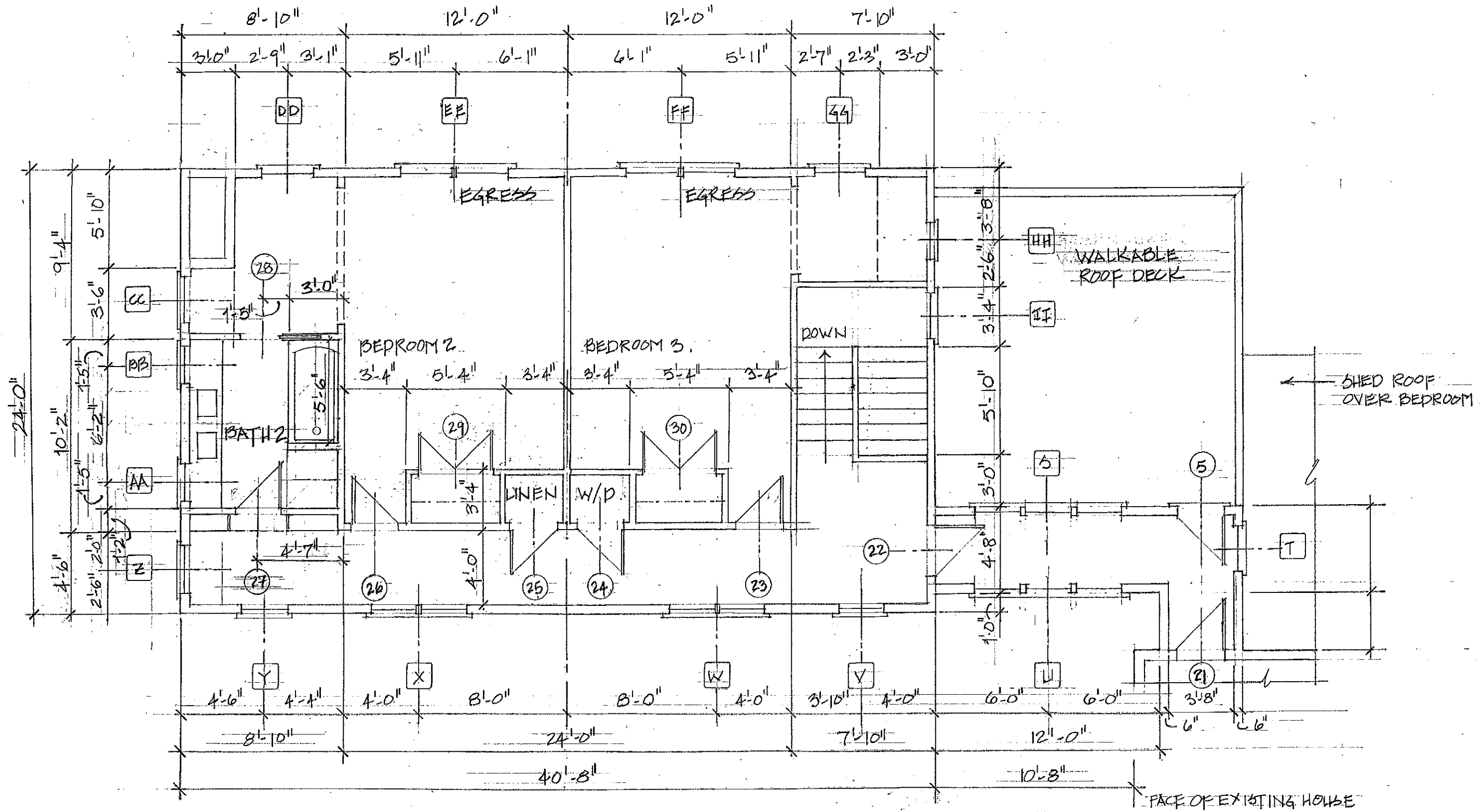
JENNY YOUNG & DONALD CORNER
ARCHITECTS

WEBSTER RESIDENCE 3/16" = 1'-0"
FIRST FLOOR PRIMARY BEDROOM



6 WEBSTER RESIDENCE 3/16" = 1'-0"
 FIRST FLOOR - NORTH WING

TENNY YOUNG & RONALD CORNER
 ARCHITECTS.



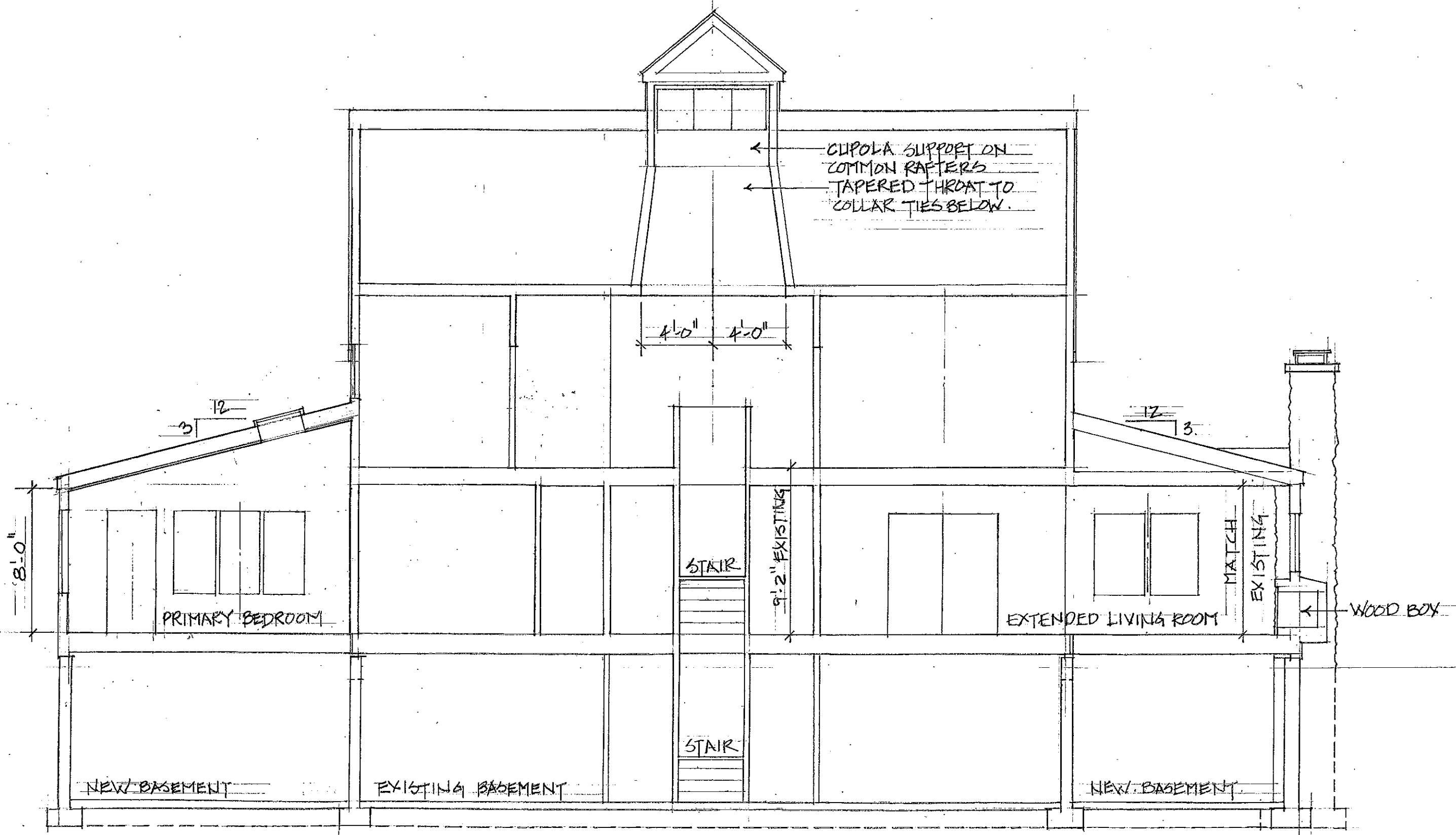
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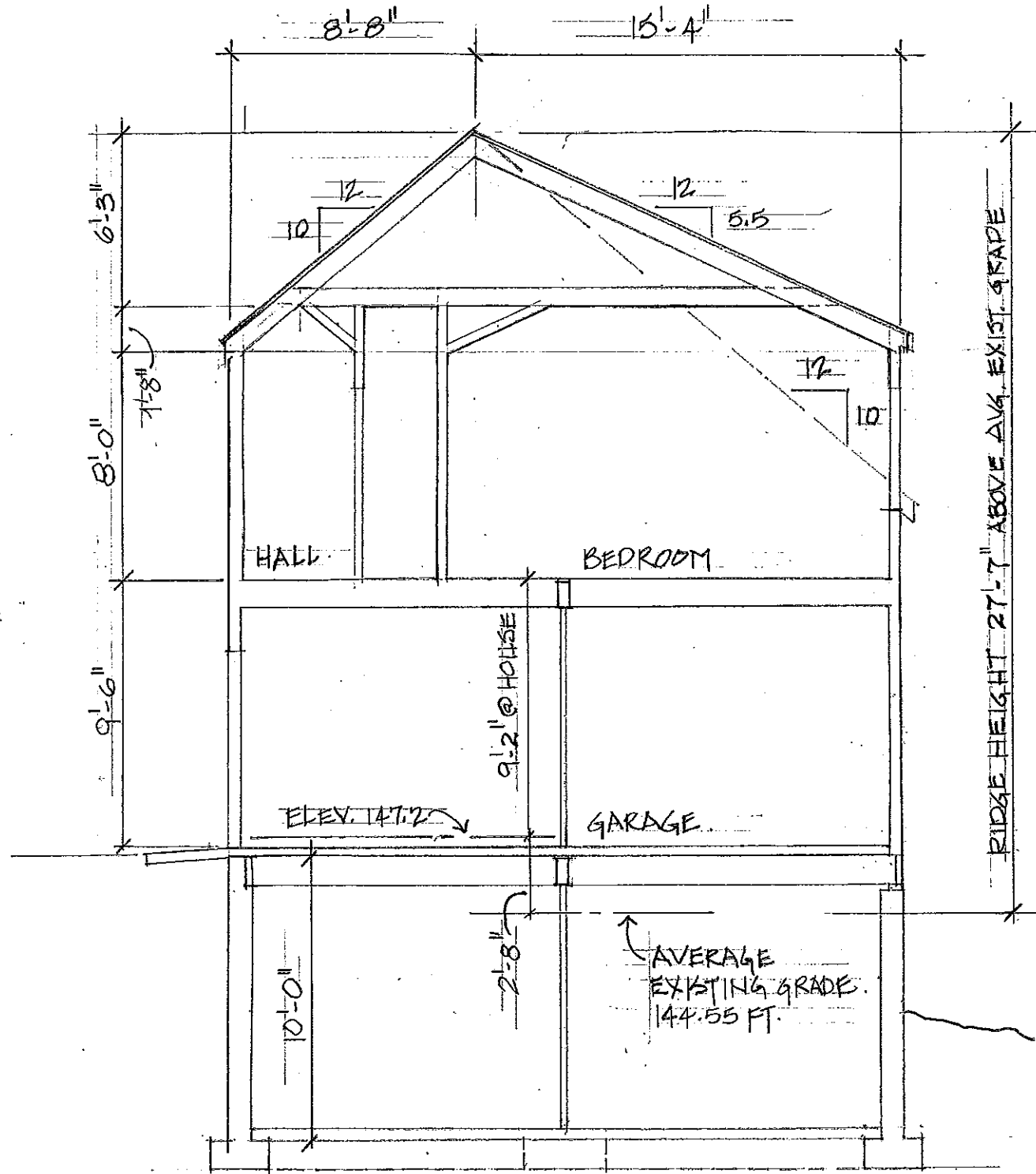
JENNY YOUNG & DONALD CORNER ARCHITECTS.

WEBSTER RESIDENCE 3/16" = 1'-0"

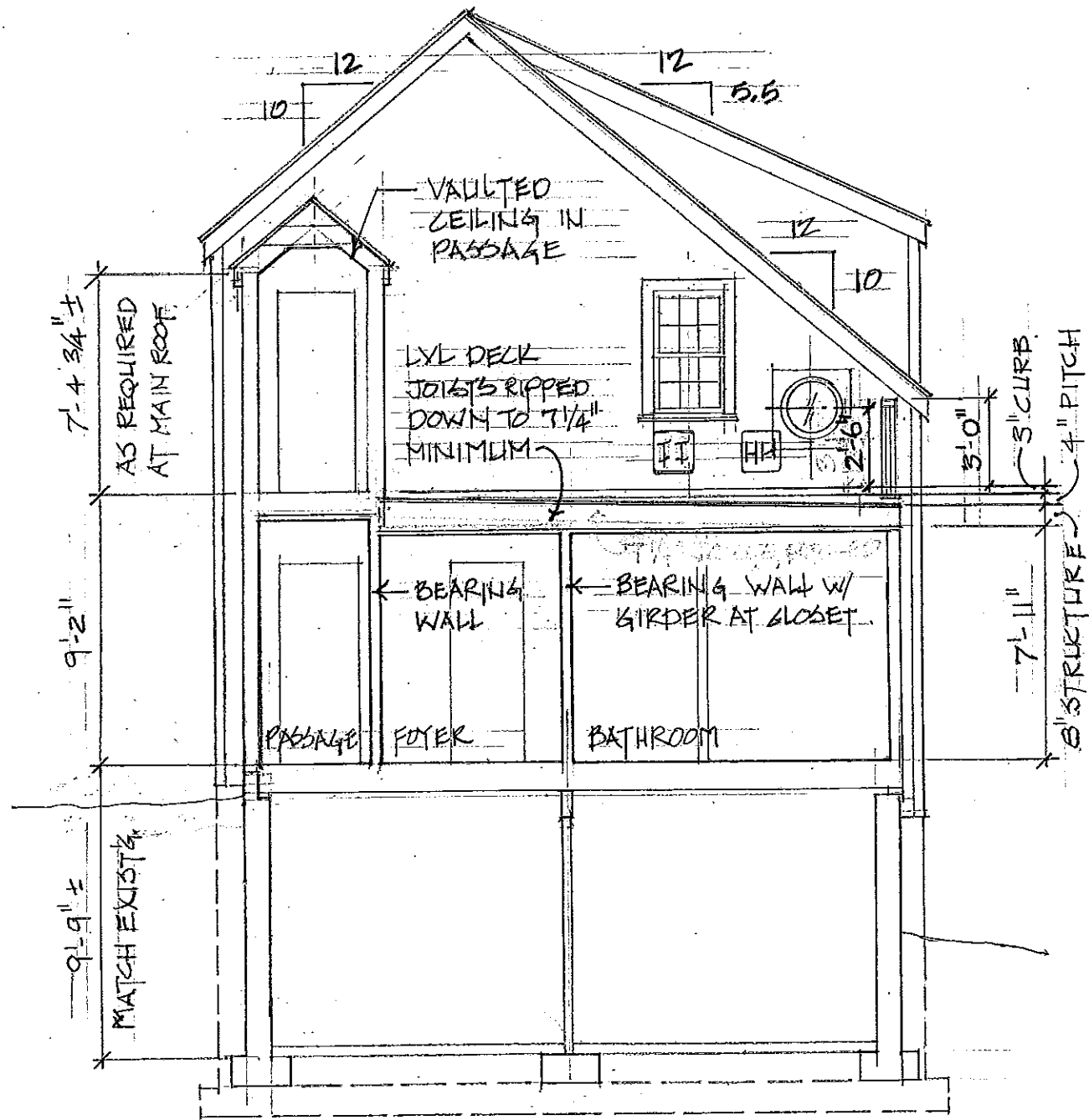
SECOND FLOOR - NORTH WING

A





SECTION AT GARAGE



SECTION AT PRIMARY BATHROOM W/ GARAGE SOUTH ELEVATION



| | | | | |
|----|--------------------------------------|---------------|-------------------------------------------|-------|
| 10 | WEBSTER RESIDENCE NORTH ELEVATION | 3/16" = 1'-0" | JENNY YOUNG & DONALD CORNER ARCHITECTS | 12.10 |
|----|--------------------------------------|---------------|-------------------------------------------|-------|



12.10

JENNY YOUNG & DONALD CORNER
ARCHITECTS.

WEBSTER RESIDENCE 3/16" = 1'-0"
WEST ELEVATION AT MAIN HOUSE.

MATCH EXISTING

POOL FENCE



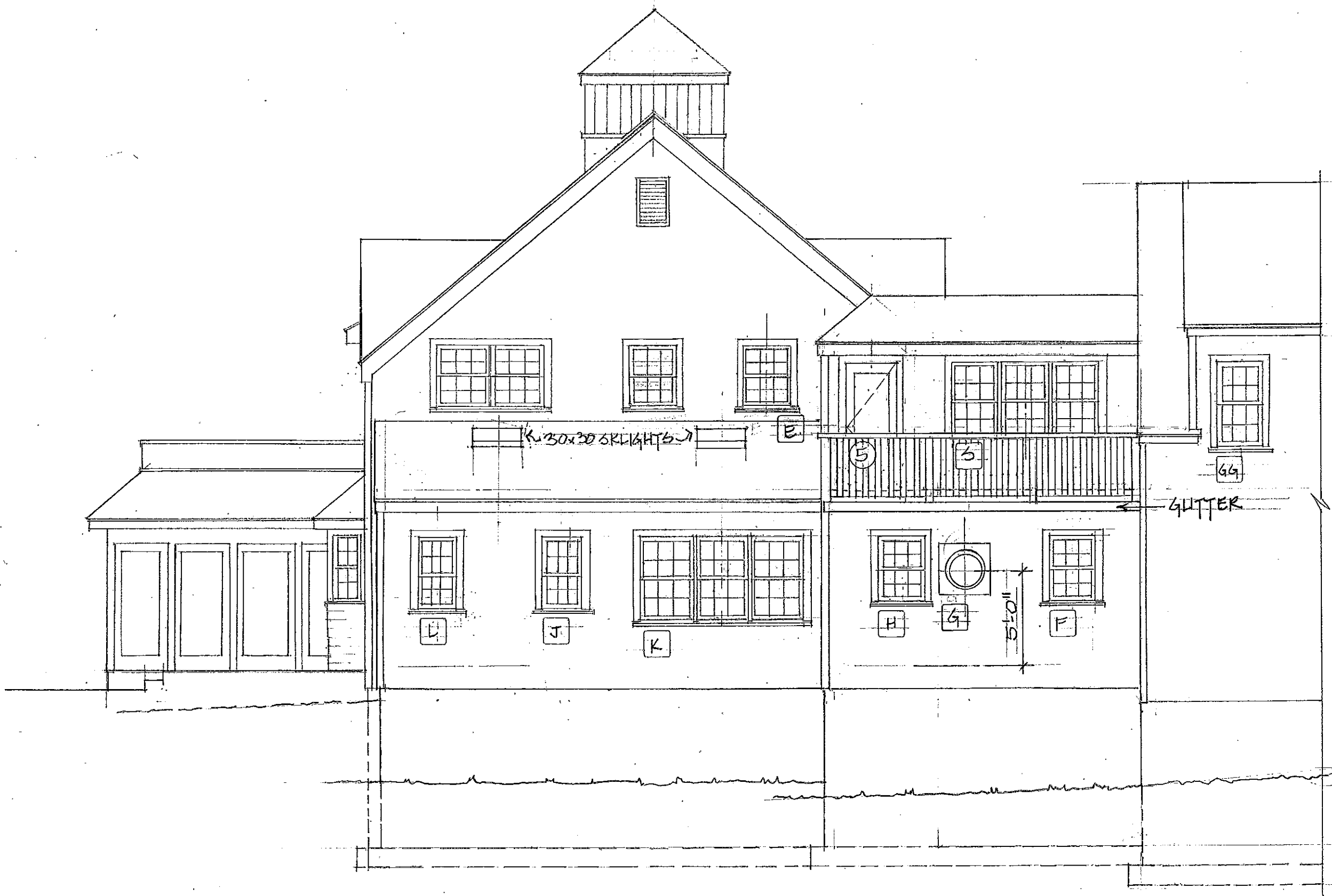
12.10

JENNY YOUNG & DONALD CORNER ARCHITECTS.

3/16" = 1'-0"

WEBSTER RESIDENCE SOUTH ELEVATION

12

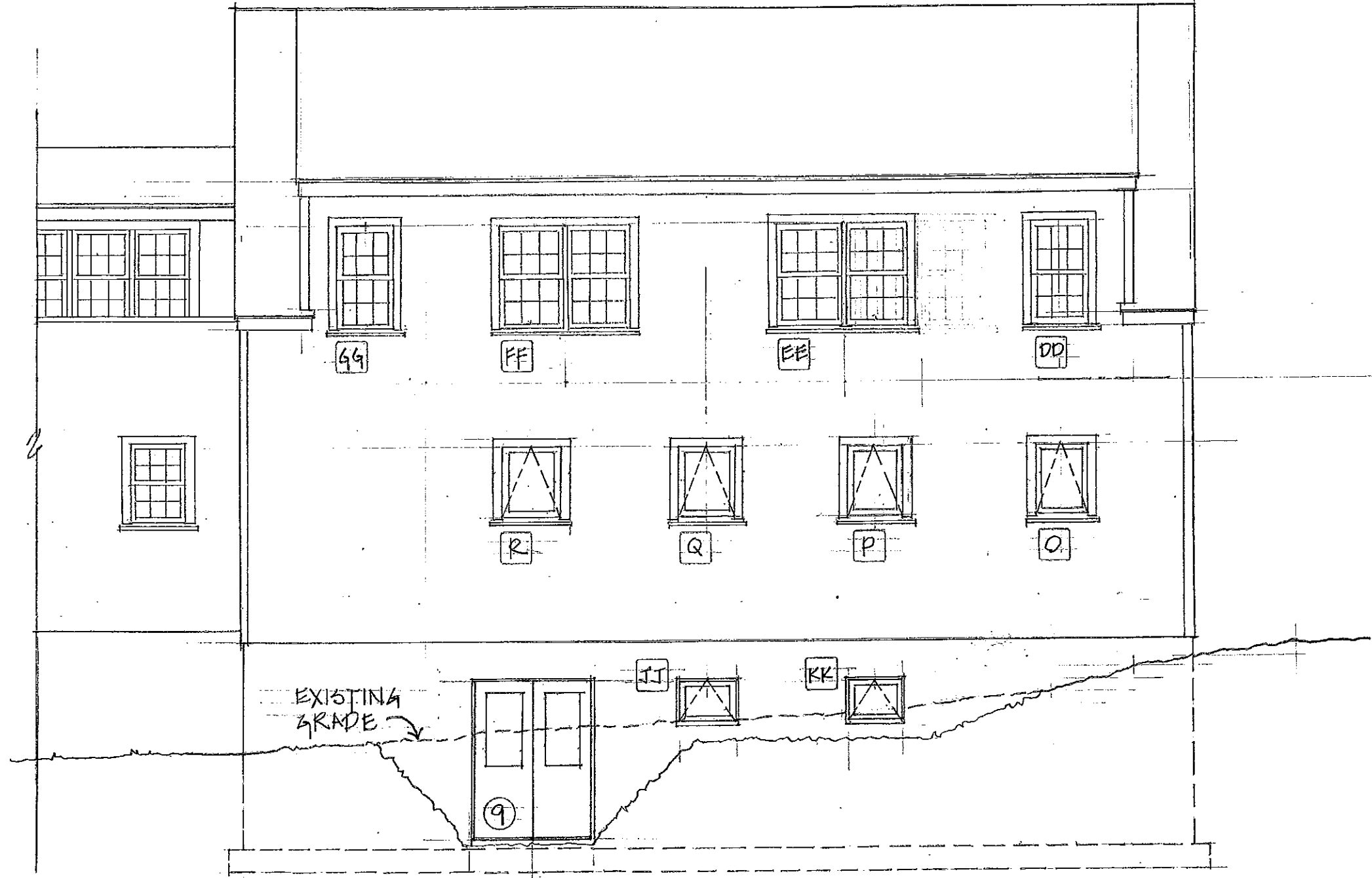


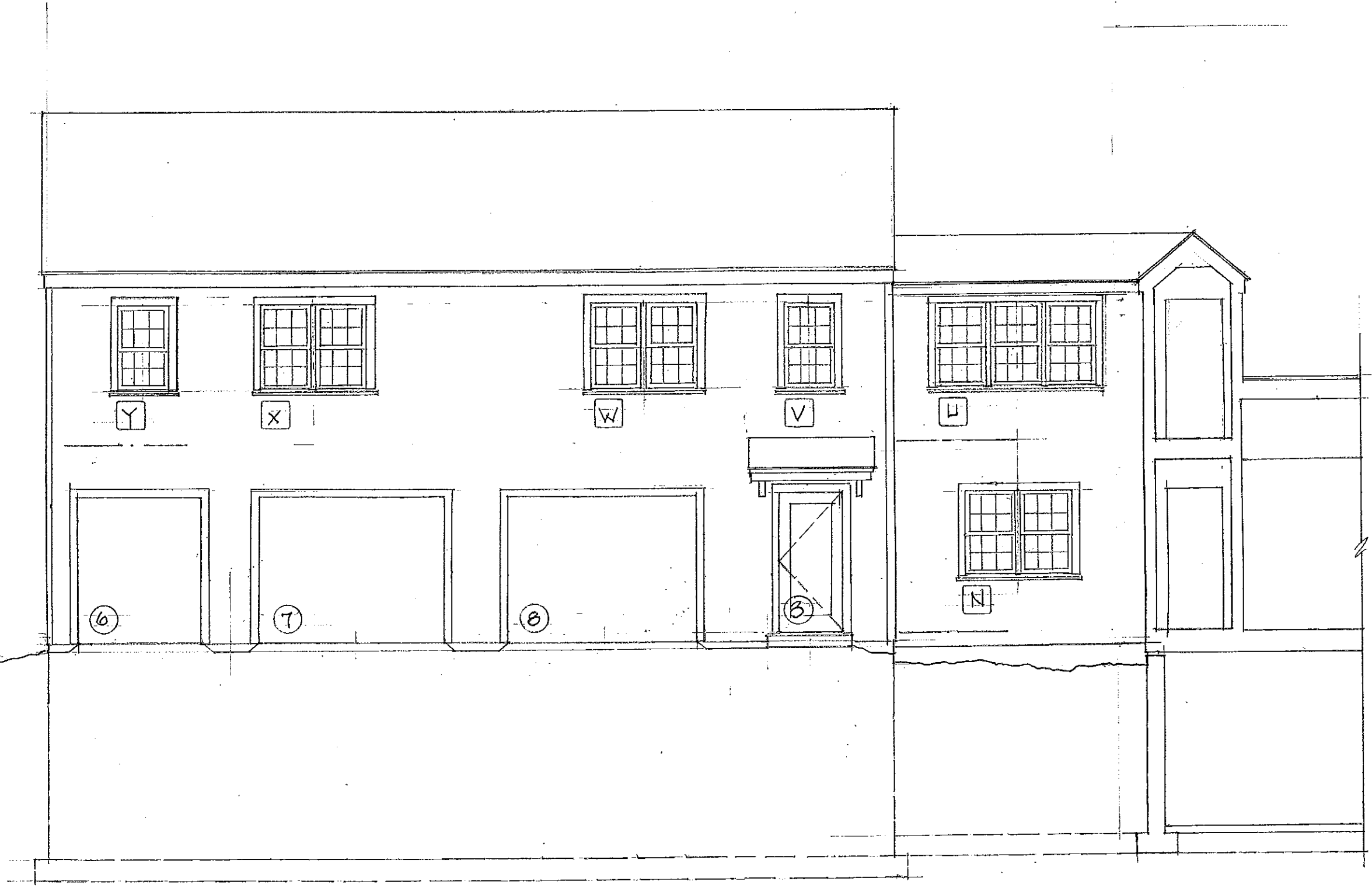
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JENNY YOUNG & DONALD CORNER ARCHITECTS

WEBSTER RESIDENCE 3/4" = 1'-0"
EAST ELEVATION AT MAIN HOUSE

13



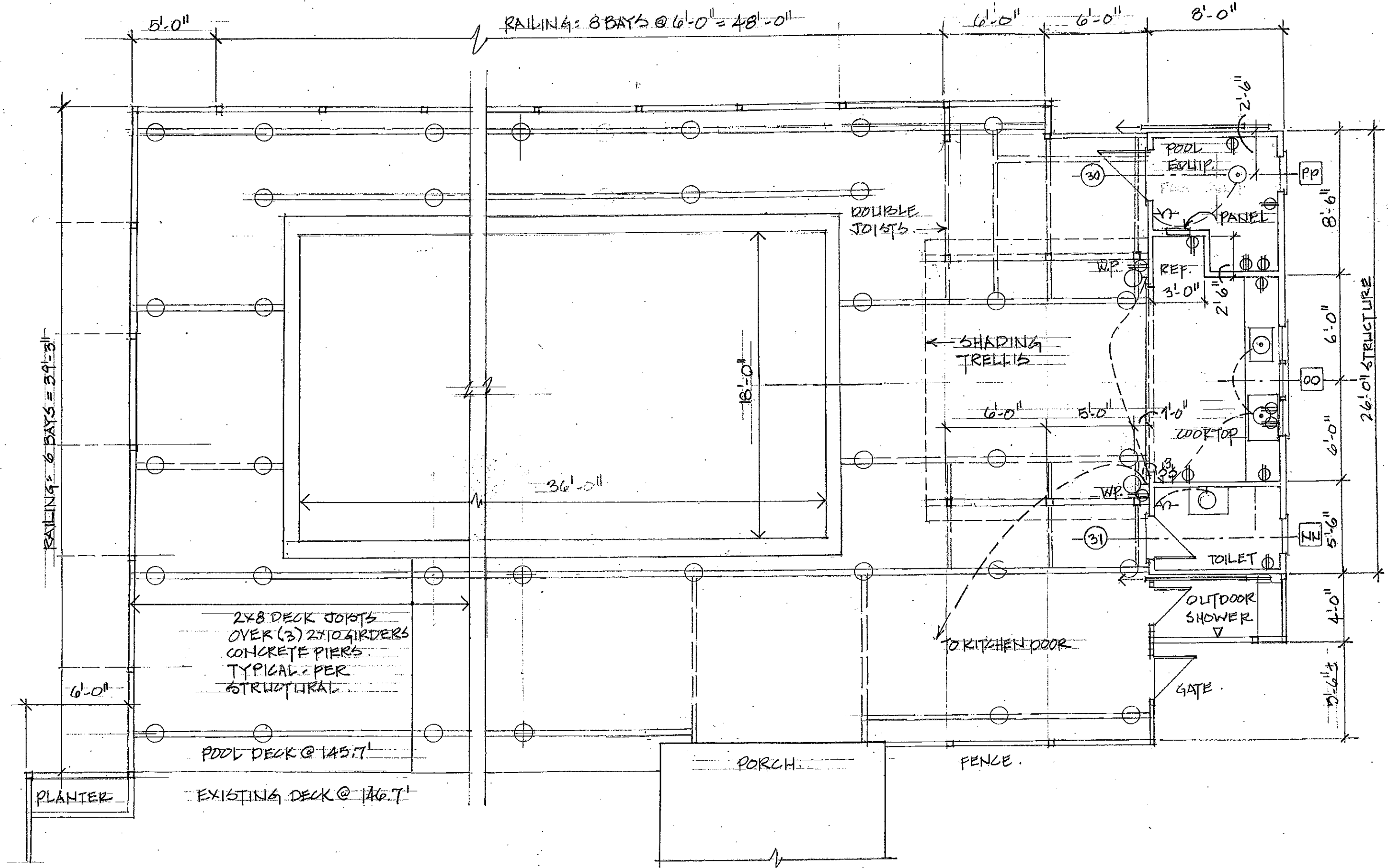


12.10.

JENNY YOUNG & DONALD CORNER
ARCHITECTS.

WEBSTER RESIDENCE
WEST ELEVATION AT GARAGE WING
3/16" = 1'-0"

15



RAILING: 6 BAYS @ 3'-3"

RAILING: 8 BAYS @ 6'-0" = 48'-0"

5'-0"

6'-0"

6'-0"

8'-0"

DOUBLE JOISTS

SHADING TRELLIS

POOL EQUIP.

PANEL

REF. 3'-0"

WORKTOP

TOILET

OUTDOOR SHOWER

GATE

PORCH

FENCE

2x8 DECK JOISTS
OVER (3) 2x10 GIRDERS
CONCRETE PIERS
TYPICAL PER
STRUCTURAL

POOL DECK @ 145.7'

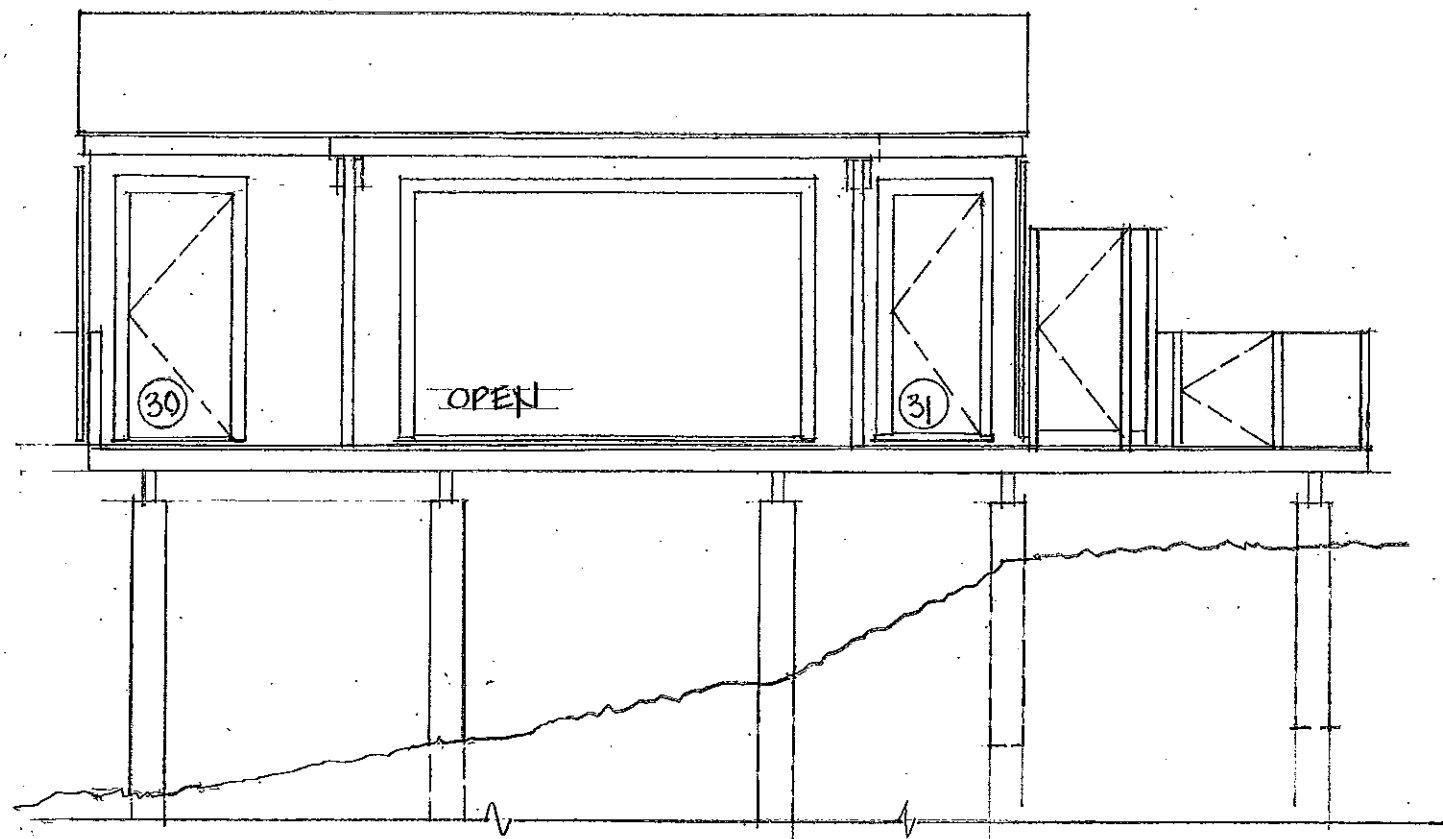
EXISTING DECK @ 146.7'

PLANTER

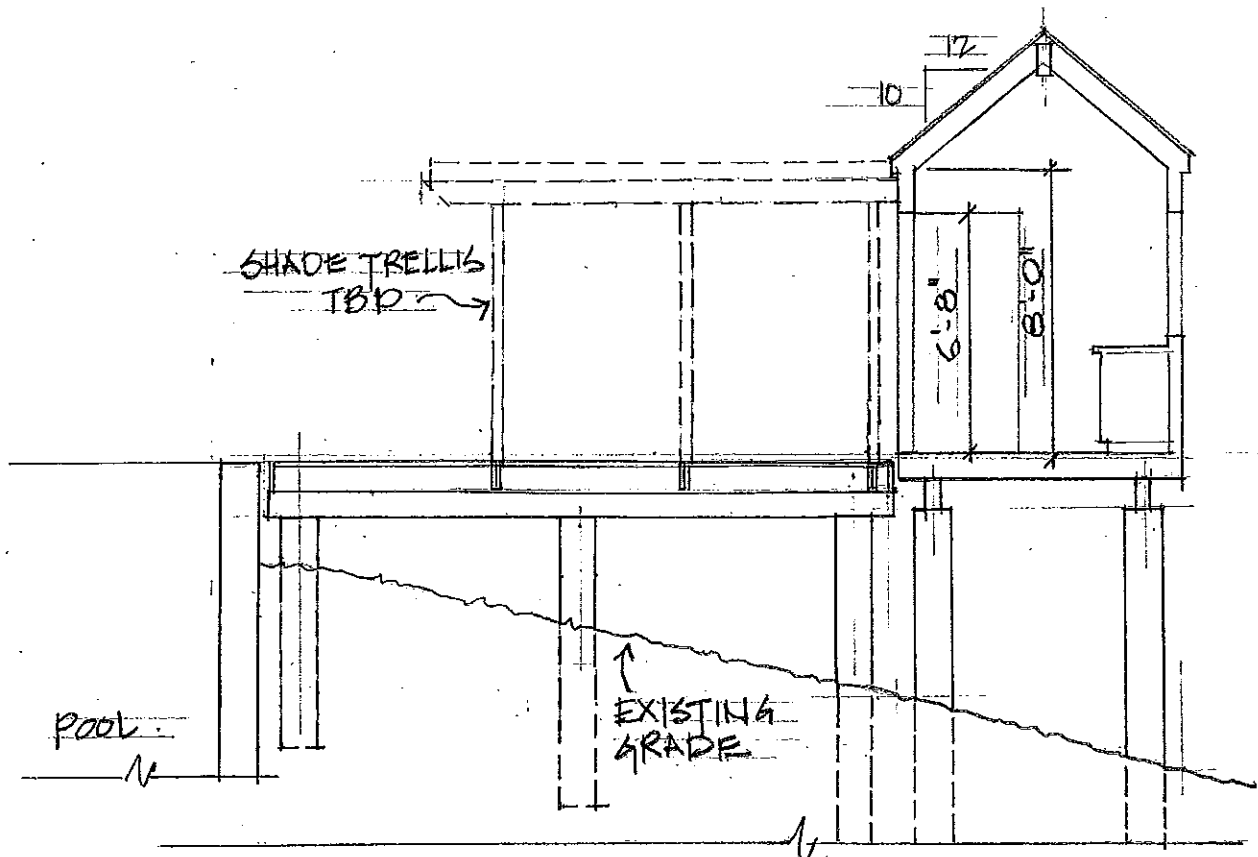
26'-0" STRUCTURE

STENNY YOUNG & DONALD CORNER ARCHITECTS

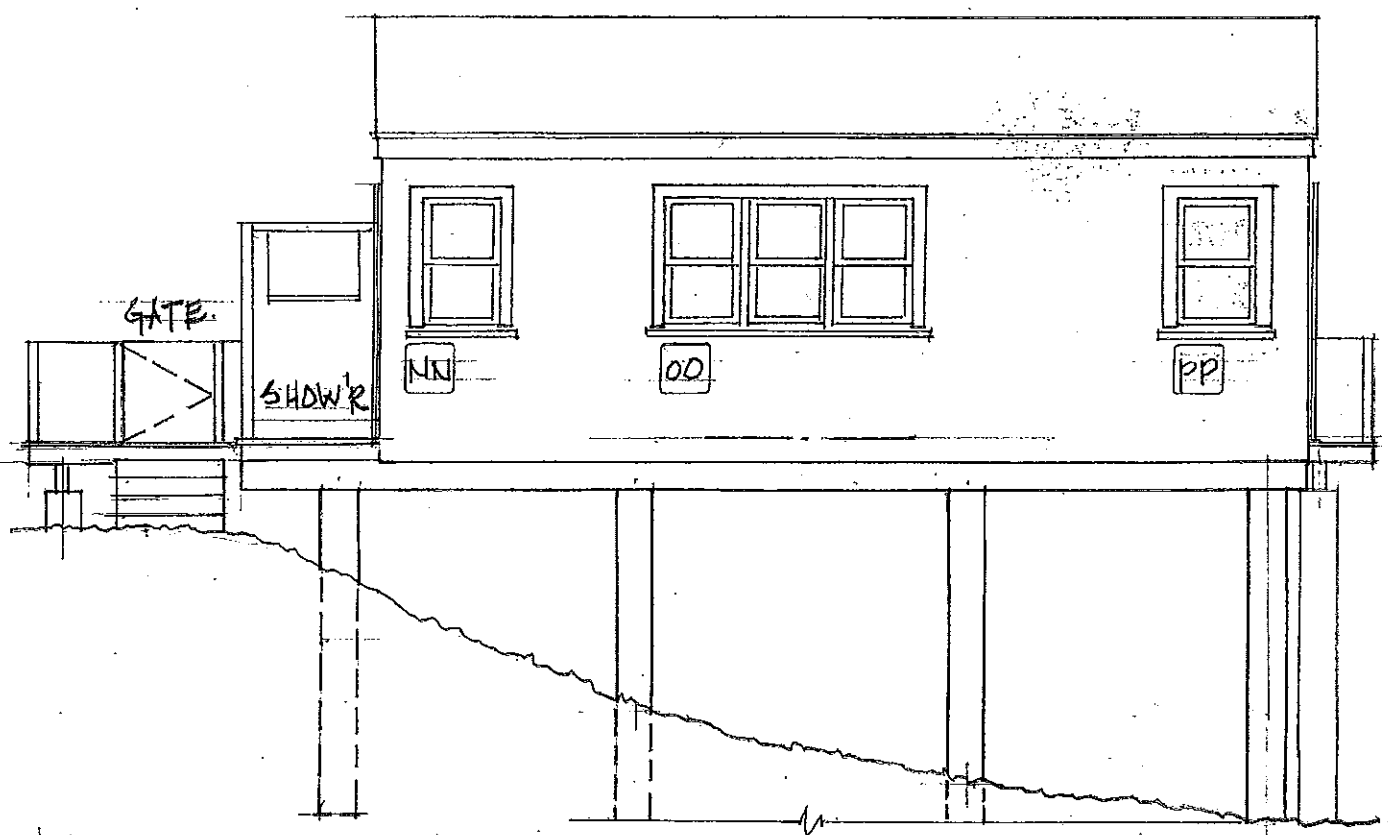
WEBSTER RESIDENCE 3/16" @ 1/4" POOL DECK AND PORCH PLAN



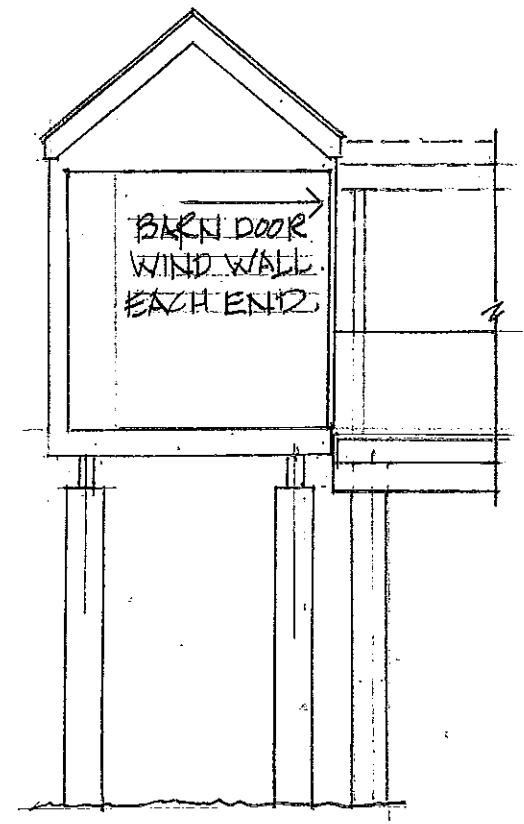
EAST POOLHOUSE ELEVATION



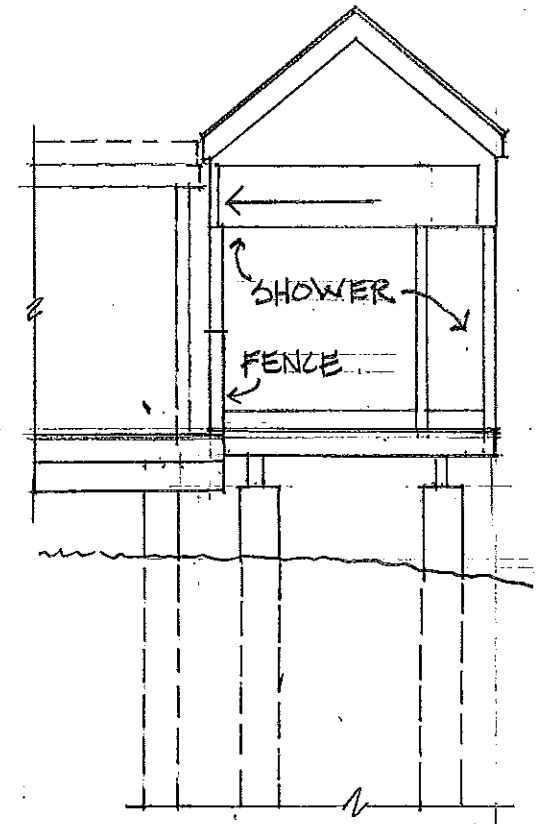
POOLHOUSE SECTION



WEST POOLHOUSE ELEVATION

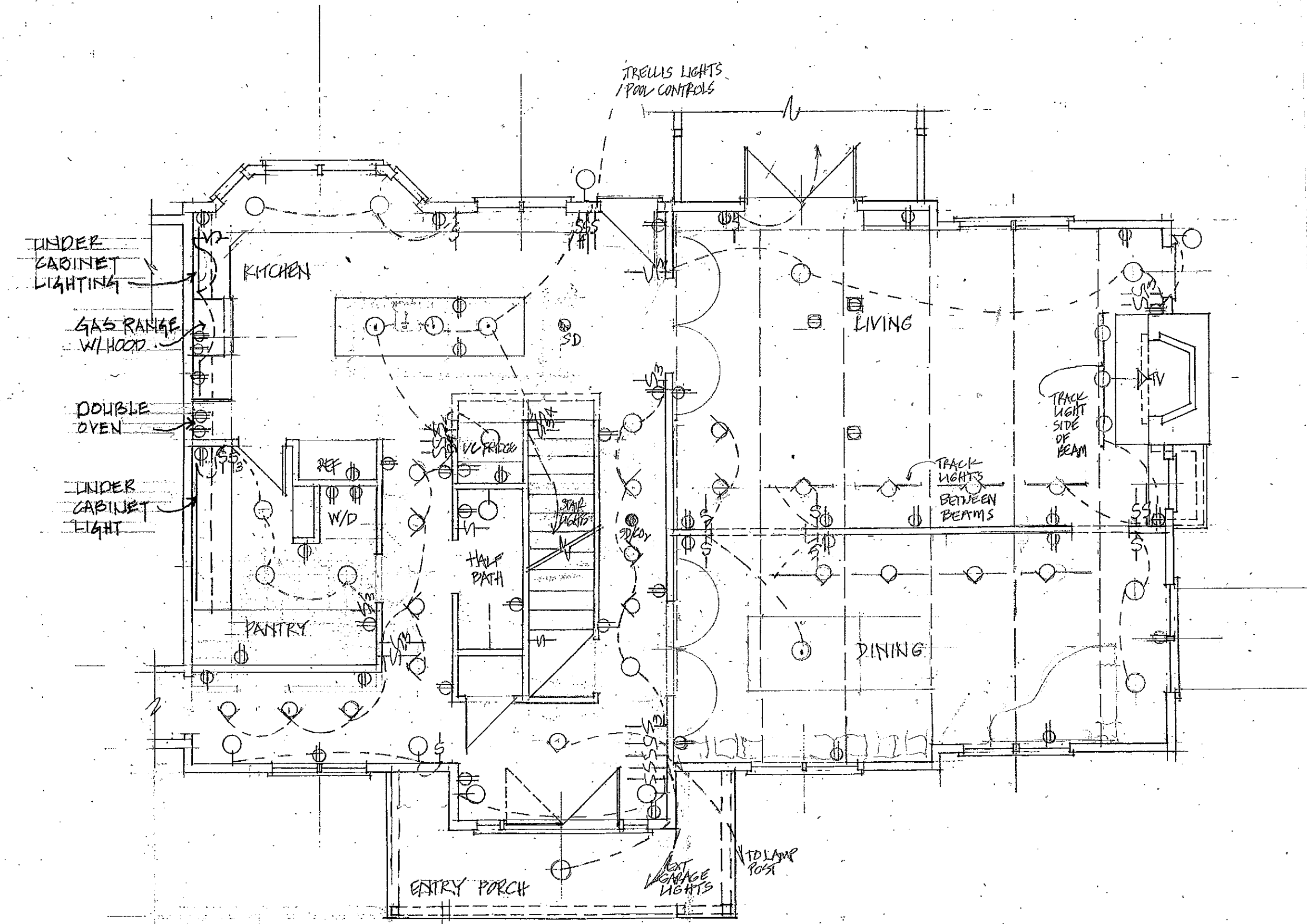


SOUTH ELEVATION



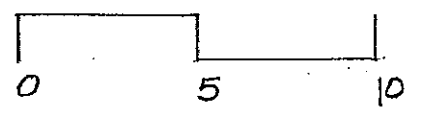
NORTH ELEVATION

12.14
 WEBSTER RESIDENCE 3/16 - 1-01
 JENNY YOUNG & DONALD CORNER ARCHITECTS
 POOLHOUSE SECTION & ELEVATIONS
 17



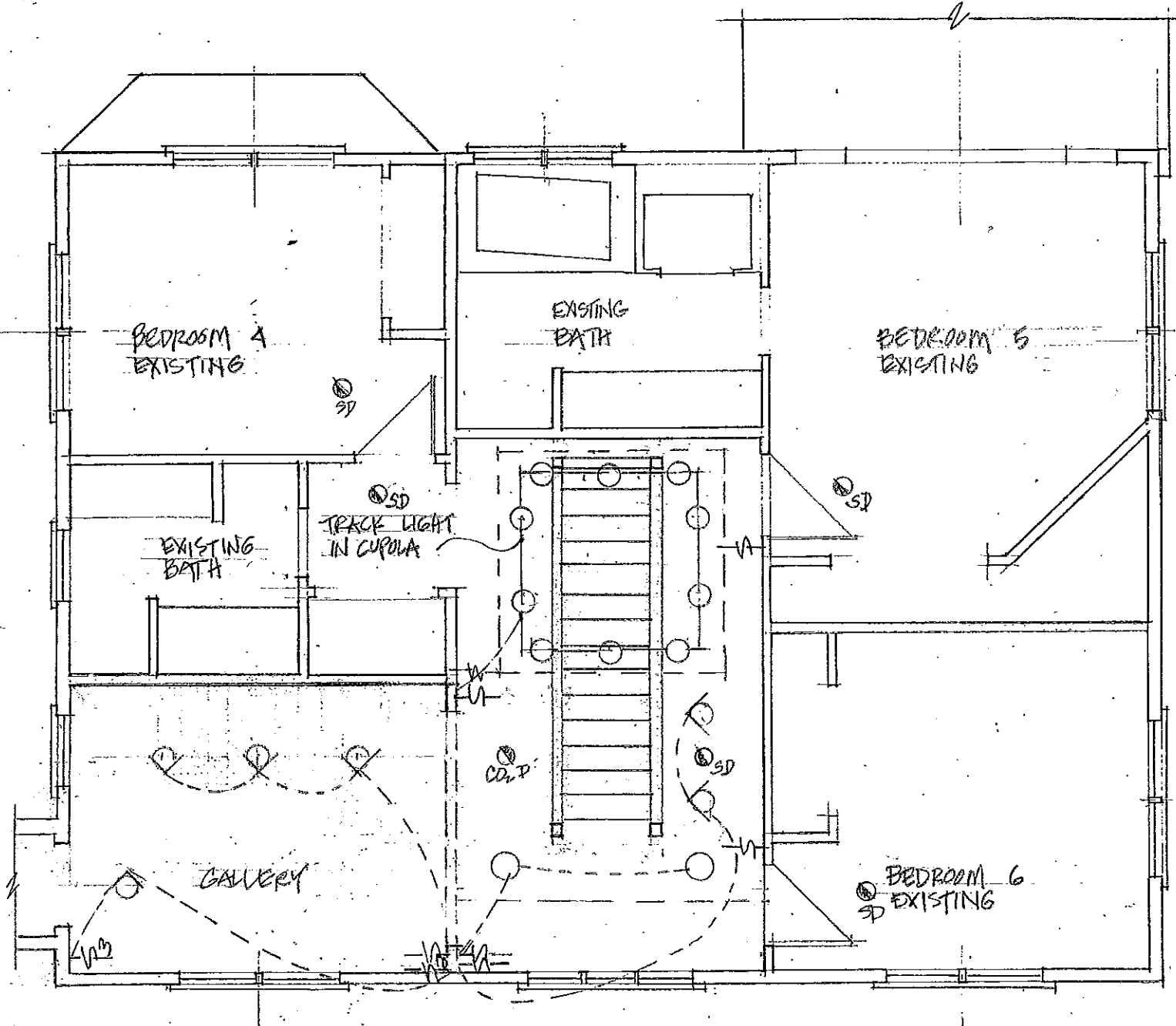
KEY

- CEILING FIXTURE
- ⊙ PENDANT FIXTURE
- ⊖ WALL MOUNTED
- ◇ WALL-WASH FIXTURE
- TRACK LIGHT
- ⊖ CEILING FAN
- ⊖ BATH LIGHT/FAN/VENT
- ⊖ OUTLET
- ⊖ GFCI OUTLET
- ⊖ 220V OUTLET
- ⊖ CEILING OUTLET
- ⊖ FLOOR OUTLET
- ⊖ SWITCH
- ⊖ 3-WAY SWITCH
- ⊖ 4-WAY SWITCH
- ⊖ CO2 DETECTOR
- ⊖ SMOKE DETECTOR
- ⊖ COMBINED SMOKE AND CO2 DETECTOR



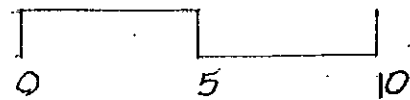
JELLY YOUNG & DONALD CORNER ARCHITECTS

WEBSTER RESIDENCE 3/16" = 1'-0" ELECTRICAL FIRST FLOOR MAIN HOUSE



KEY

- CEILING FIXTURE
- PENDANT FIXTURE
- WALL MOUNTED
- ◊ WALL-WASH FIXTURE
- TRACK LIGHT
- ⊗ CEILING FAN
- ⊠ BATH LIGHT/FAN/VENT
- ⊕ OUTLET
- ⊕ GFCI
- ⊕ 220V OUTLET
- ⊕ CEILING OUTLET
- ⊕ FLOOR OUTLET
- ⏏ SWITCH
- ⏏ 3-WAY SWITCH
- ⏏ 4-WAY SWITCH
- ⊕ CO2
- ⊕ CO2 DETECTOR
- ⊕ SD
- ⊕ SMOKE DETECTOR
- ⊕ SD/CO2
- ⊕ COMBINED SMOKE AND CO2 DETECTOR

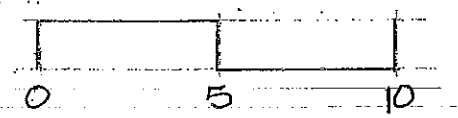
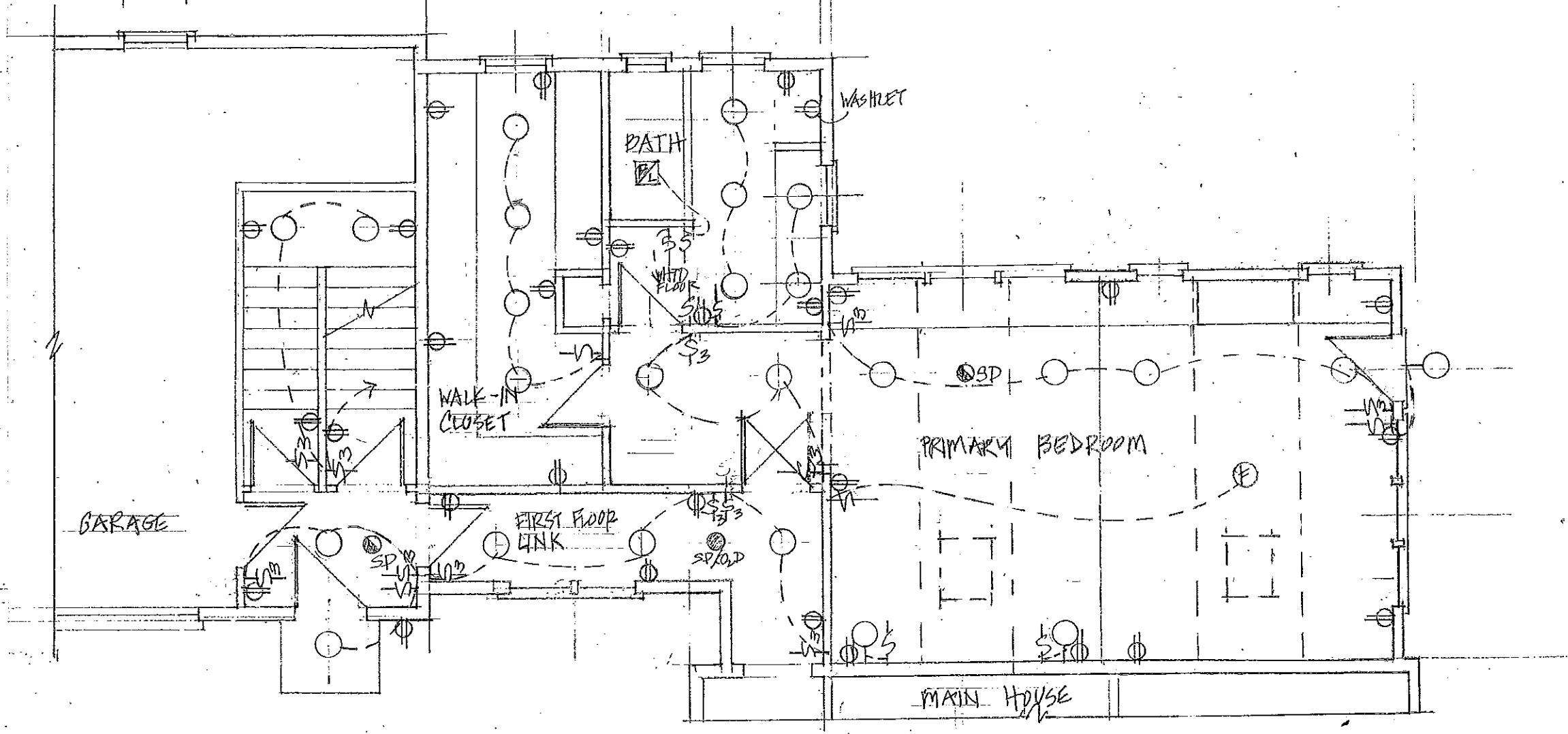


JENNY YOUNG & DONALD CORNER ARCHITECTS

WEBSTER RESIDENCE 3/16" = 1'-0" ELECTRICAL SECOND FLOOR MAIN HOUSE

KEY

- CEILING FIXTURE
- ⊙ PENDANT FIXTURE
- ⊖ WALL MOUNTED
- ⊖ WALL-WASH FIXTURE
- TRACK LIGHT
- ⊖ CEILING FAN
- ⊖ BATH LIGHT/FAN/VENT
- ⊖ OUTLET
- ⊖ GFCI OUTLET
- ⊖ 220V OUTLET
- ⊖ CEILING OUTLET
- ⊖ FLOOR OUTLET
- ⊖ SWITCH
- ⊖ 3-WAY SWITCH
- ⊖ 4-WAY SWITCH
- ⊖ CO2 DETECTOR
- ⊖ SMOKE DETECTOR
- ⊖ COMBINED SMOKE AND CO2 DETECTOR

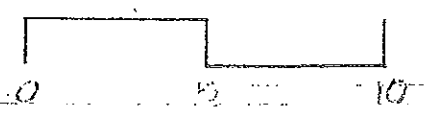
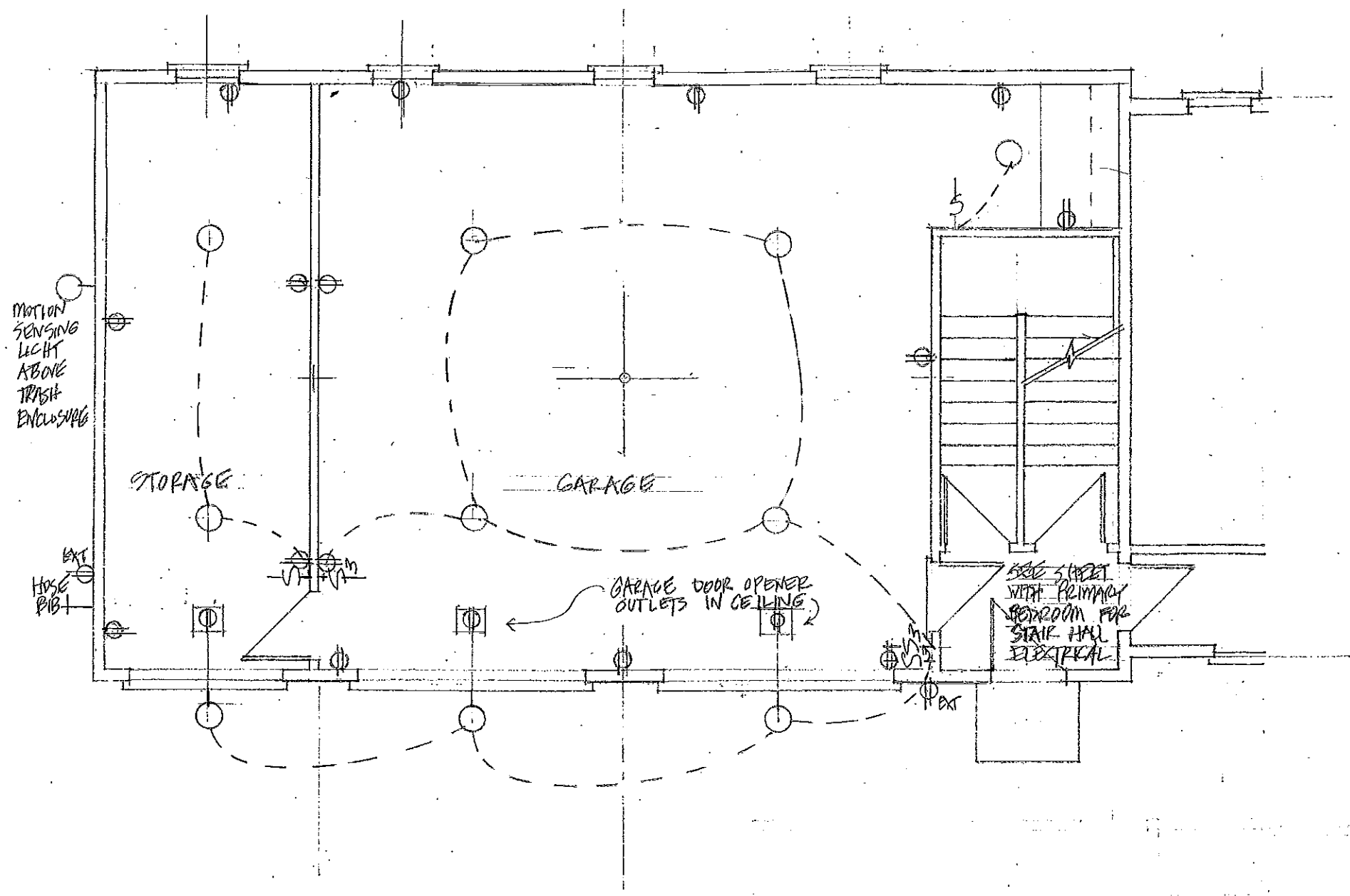


JENNY YOUNG & DONALD CORNER ARCHITECTS

WEBSTER RESIDENCE 3/16" = 1'-0"
ELECTRICAL FIRST FLOOR - PRIMARY BEDROOM

KEY

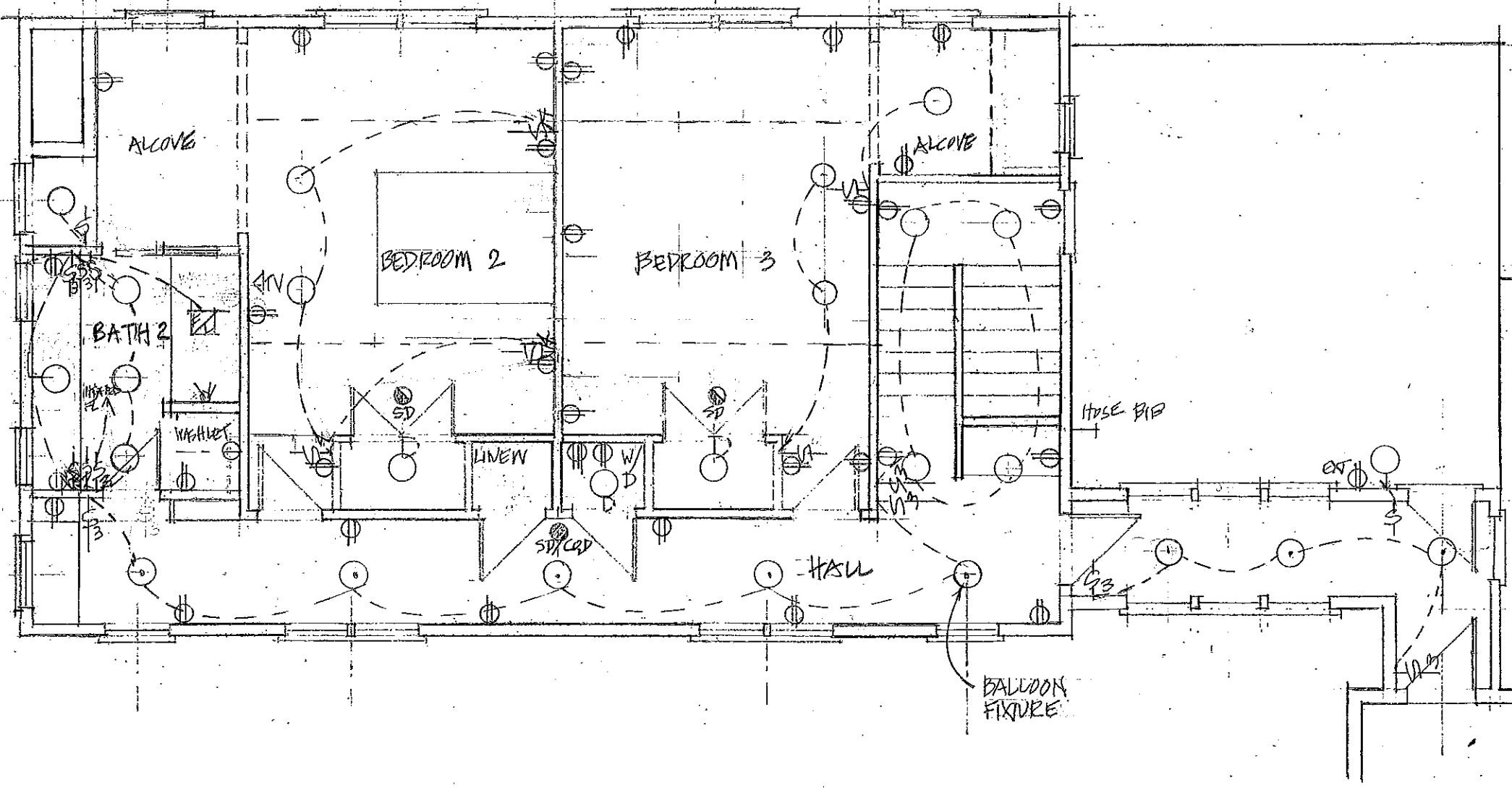
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JENNY YOUNG & DONALD CORNER ARCHITECTS

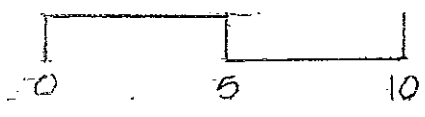
WEBSTER RESIDENCE 3/16" = 1'-0" ELECTRICAL FIRST FLOOR GARAGE

EA



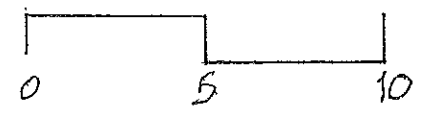
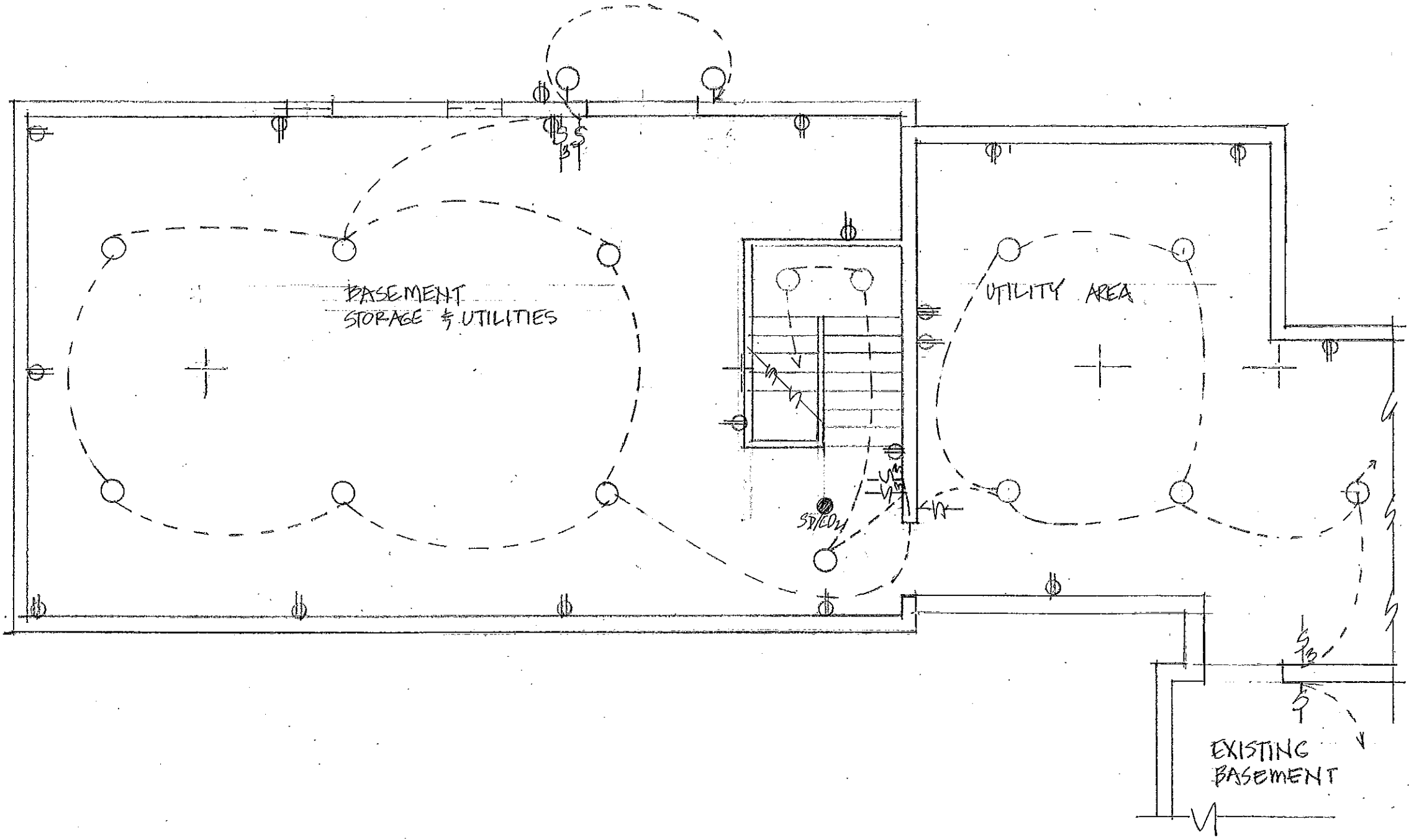
KEY

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- ⊙ PENDANT FIXTURE
- ⊖ WALL MOUNTED
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- ○ TRACK LIGHT
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- ⊖ SWITCH
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- ⊖ 4-WAY SWITCH
- ⊖ CO2 DETECTOR
- ⊖ SMOKE DETECTOR
- ⊖ COMBINED SMOKE AND CO2 DETECTOR



KEY

- CEILING FIXTURE
- ⊙ PENDANT FIXTURE
- ⊖ WALL MOUNTED
- ⊗ WALL-WASH FIXTURE
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- ⊖ SMOKE DETECTOR
- ⊖ COMBINED SMOKE AND CO2 DETECTOR



Webster Residence, West Tisbury

Jenny Young & Donald Corner, Architects
 jyoung@uoregon.edu (541) 510-2111

Window Schedule:

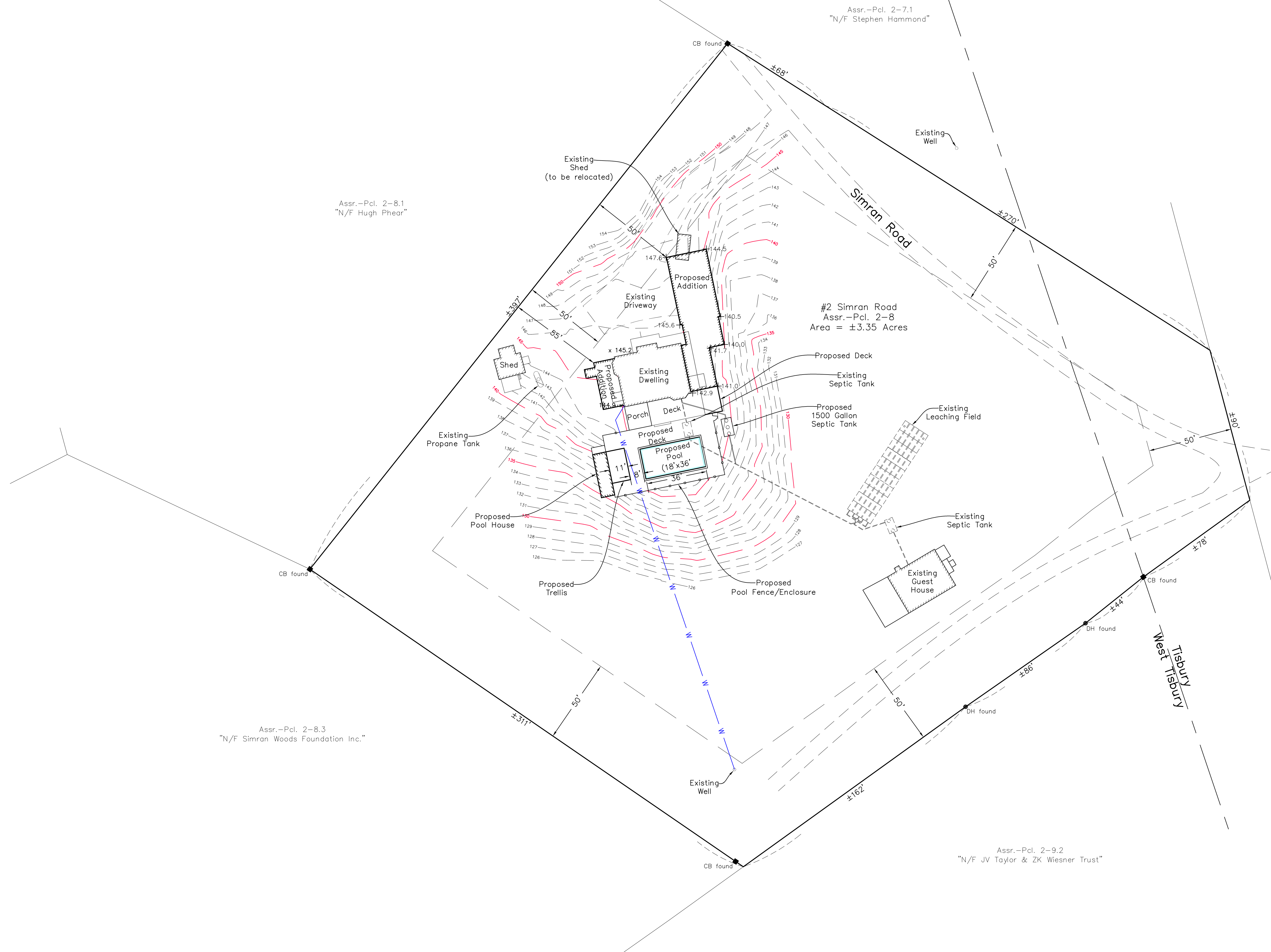
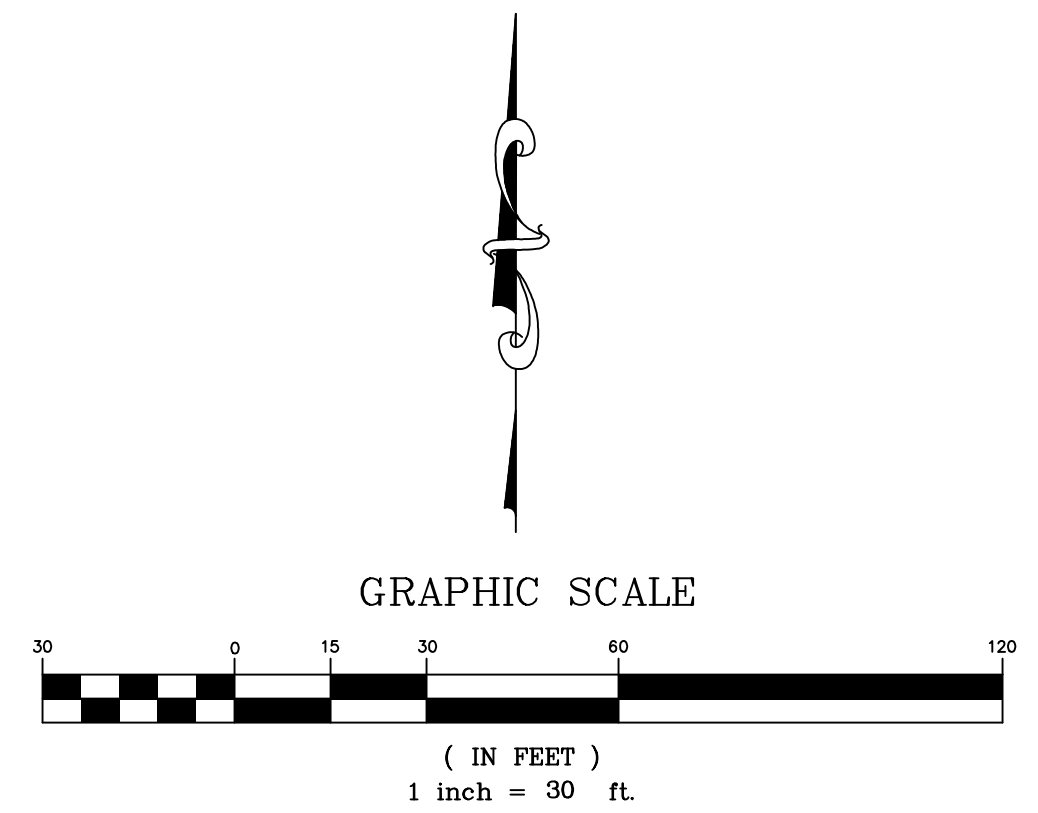
| | Location | Nominal Size | Type | Qty. | Andersen 400 | Unit Size | Notes |
|----|----------------------------|--------------|-------|------|--------------|-------------------|--------|
| A | South living room | 2-9 x 4-8 | DH | 2 | WDH2846 | 2-9 5/8 x 4-8 7/8 | |
| B | West living room | 2-5 x 3-0 | DH | 1 | WDH24210 | 2-5 5/8 x 3-0 7/8 | |
| C | West dining room | 2-9 x 4-8 | DH | 2 | WDH2846 | 2-9 5/8 x 4-8 7/8 | |
| D | North dining room | 2-9 x 4-8 | DH | 2 | WDH2846 | 2-9 5/8 x 4-8 7/8 | |
| E | Second floor hall | 2-7 x 3-0 | DH | 1 | WDH26210 | 2-7 5/8 x 3-0 7/8 | |
| F | Primary closet | 2-5 x 3-4 | DH | 1 | WDH2432 | 2-5 5/8 x 3-4 7/8 | |
| G | Primary shower | porthole | fixed | 1 | Andersen | 2'-0" diameter | |
| H | East primary bath | 2-5 x 3-4 | DH | 1 | WDH2432 | 2-5 5/8 x 3-4 7/8 | |
| I | South primary bath | 2-5 x 3-4 | DH | 1 | WDH2432 | 2-5 5/8 x 3-4 7/8 | |
| J | East primary sleeping area | 2-9 x 4-4 | DH | 3 | WDH2842 | 2-9 5/8 x 4-4 7/8 | |
| K | East primary sitting A | 2-1 x 3-8 | DH | 1 | WDH2036 | 2-1 5/8 x 3-8 7/8 | |
| L | East primary sitting B | 2-1 x 3-8 | DH | 1 | WDH2036 | 2-1 5/8 x 3-8 7/8 | |
| M | South primary sitting | 2-5 x 4-4 | DH | 3 | WDH2442 | 2-5 5/8 x 4-4 7/8 | |
| N | West lower passage | 2-5 x 4-0 | DH | 2 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| O | East storage room | 2-4 x 2-11 | AW | 1 | ELAWN2935 | 2-4 x 2-11 1/8 | |
| P | East garage A | 2-4 x 2-11 | AW | 1 | ELAWN2935 | 2-4 x 2-11 1/8 | |
| Q | East garage B | 2-4 x 2-11 | AW | 1 | ELAWN2935 | 2-4 x 2-11 1/8 | |
| R | East garage C | 2-4 x 2-11 | AW | 1 | ELAWN2935 | 2-4 x 2-11 1/8 | |
| S | East upper passage | 2-5 x 4-0 | DH | 3 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| T | South upper passage | 2-5 x 3-4 | DH | 1 | WDH2432 | 2-5 5/8 x 3-4 7/8 | |
| U | West upper passage | 2-5 x 4-0 | DH | 3 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| V | West stairwell | 2-5 x 4-0 | DH | 1 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| W | West corridor A | 2-5 x 4-0 | DH | 2 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| X | West corridor B | 2-5 x 4-0 | DH | 2 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| Y | West corridor ending | 2-5 x 4-0 | DH | 1 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| Z | North corridor ending | porthole | fixed | 1 | Andersen | 2'-6" diameter | |
| AA | North bathroom #2A | 2-1 x 3-4 | DH | 1 | WDH2032 | 2-1 5/8 x 3-4 7/8 | |
| BB | North bathroom #2B | 2-1 x 3-4 | DH | 1 | WDH2032 | 2-1 5/8 x 3-4 7/8 | |
| CC | North bedroom #2 alcove | 2-5 x 4-4 | DH | 1 | WDH2442 | 2-5 5/8 x 4-4 7/8 | |
| DD | East bedroom #2 alcove | 2-5 x 4-4 | DH | 1 | WDH2442 | 2-5 5/8 x 4-4 7/8 | |
| EE | East bedroom #2 | 2-9 x 4-4 | DH | 2 | WDH2842 | 2-9 5/8 x 4-4 7/8 | Egress |
| FF | East bedroom #3 | 2-9 x 4-4 | DH | 2 | WDH2842 | 2-9 5/8 x 4-4 7/8 | Egress |
| GG | East bedroom #3 alcove | 2-5 x 4-4 | DH | 1 | WDH2442 | 2-5 5/8 x 4-4 7/8 | |
| HH | East bedroom #3 cave | porthole | fixed | 1 | Andersen | 2'-0" diameter | |
| II | Staircase landing | 2-5 x 4-0 | DH | 1 | WDH24310 | 2-5 5/8 x 4-0 7/8 | |
| JJ | East basement A | 2-4 x 1-7 | AW | 1 | ELAWN2919 | 2-4 x 1-7 1/8 | |
| KK | East basement B | 2-4 x 1-7 | AW | 1 | ELAWN2919 | 2-4 x 1-7 1/8 | |
| LL | North cupola | 2-0 x 2-3 | AW | 3 | ELAWN2527 3W | 6-1 x 2-3 | |
| MM | South cupola | 2-0 x 2-3 | AW | 3 | ELAWN2527 3W | 6-1 x 2-3 | |
| NN | Pool house equipment | 2-1 x 3-4 | DH | 1 | WDH2036 | 2-1 5/8 x 3-4 7/8 | |
| OO | Pool house kitchen | 2-1 x 3-4 | DH | 3 | WDH2036 | 2-1 5/8 x 3-4 7/8 | |
| PP | Pool house bathroom | 2-1 x 3-4 | DH | 1 | WDH2036 | 2-1 5/8 x 3-4 7/8 | |

Webster Residence, West Tisbury

Jenny Young & Donald Corner, Architects
 jyoung@uoregon.edu (541) 510-2111

Door Schedule:

| | Location | W | H | Hand | | |
|----|-----------------------------|-----|-----|--------------|--|-------------------------------|
| 1 | East living room | 2-8 | 6-8 | R | | |
| 2 | South primary sitting | 2-8 | 6-8 | R | | |
| 3 | East garage entry | 3-0 | 6-8 | L | | |
| 4 | Garage internal entry | 2-8 | 6-8 | L | | |
| 5 | East roof terrace | 2-8 | 6-8 | L | | |
| 6 | West storage overhead | 6-0 | 7-0 | Roll-up | | |
| 7 | West garage overhead A | 9-0 | 7-0 | Roll-up | | |
| 8 | West garage overhead B | 9-0 | 7-0 | Roll-up | | |
| 9 | Basement door | 5-0 | 6-8 | Pair | | |
| 10 | Kitchen to living room | 5-0 | 6-8 | Pair | | |
| 11 | Entry hall to dining room | 5-0 | 6-8 | Pair | | |
| 12 | Corridor to pantry | 2-8 | 6-8 | pocket | | |
| 13 | Kitchen to pantry | 2-6 | 6-8 | L | | |
| 14 | Primary closet | 2-6 | 6-8 | L | | |
| 15 | Primary bath | 2-6 | 6-8 | L | | |
| 16 | Primary bedroom | 2-8 | 6-8 | R | | |
| 17 | Lower passage to vestibule | 2-8 | 6-8 | L | | |
| 18 | Staircase up | 2-8 | 6-8 | R | | |
| 19 | Staircase down | 2-8 | 6-8 | L | | |
| 20 | Connecting door to storage | 2-8 | 6-8 | L | | Unheated spaces |
| 21 | Main house to upper passage | 2-8 | 6-8 | R | | |
| 22 | Stair hall to upper passage | 2-8 | 6-8 | L | | |
| 23 | Bedroom #3 | 2-6 | 6-8 | R | | |
| 24 | Linen closet | 2-6 | 6-8 | L | | |
| 25 | Washer/Dryer | 2-6 | 6-8 | R | | |
| 26 | Bedroom #2 | 2-6 | 6-8 | L | | |
| 27 | Bath #2 | 2-6 | 6-8 | R | | |
| 28 | Bath #2 to bedroom #2 | 2-4 | 6-8 | Pocket | | |
| 29 | Closet in bedroom #2 | 4-0 | 6-8 | Pair | | |
| 30 | Closet in bedroom #3 | 4-0 | 6-8 | Pair | | |
| 31 | Pool House equipment room | 3-0 | 6-8 | Left-reverse | | Outward opening exterior door |
| 32 | Pool House toilet room | 2-6 | 6-8 | R | | Inward opening exterior door. |



Tisbury Assr.-Pcl. 55-A-4
"N/F Carly Simon"

Legend:
 x 142.5 Denotes Spot Grades
 Building Elevations:
 First Floor = 147.2
 Front Porch = 146.8
 Back Deck 146.7
 Ridge = 174.2

Site Plan in
 West Tisbury, Mass.
 Prepared for
 Candy Webster
 Scale 1" = 20'
 October 31, 2022

VINEYARD
 LAND SURVEYING
 & ENGINEERING
 12 Cournoyer Road
 P.O. Box 421
 West Tisbury, MA 02575
 P 508-693-3774 F 508-629-0440
 VLSE.net

Home Energy Rating Certificate

Projected Report
Based on Plans

Rating Date:
Registry ID:
Ekotrope ID: pdW5mWE2

HERS® Index Score:

56

Your home's HERS score is a relative performance score. The lower the number, the more energy efficient the home. To learn more, visit www.hersindex.com

Annual Savings

\$7,011

*Relative to an average U.S. home

Home:
2 Simran Rd
West Tisbury, MA 02575

Builder:
Tom O'Brien

Your Home's Estimated Energy Use:

| | Use [MBtu] | Annual Cost |
|-------------------------|-------------|----------------|
| Heating | 35.9 | \$2,524 |
| Cooling | 1.1 | \$81 |
| Hot Water | 3.2 | \$224 |
| Lights/Appliances | 32.5 | \$2,207 |
| Service Charges | | \$24 |
| Generation (e.g. Solar) | 0.0 | \$0 |
| Total: | 72.7 | \$5,059 |

This home meets or exceeds the criteria of the following:

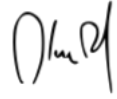
2018 International Energy Conservation Code

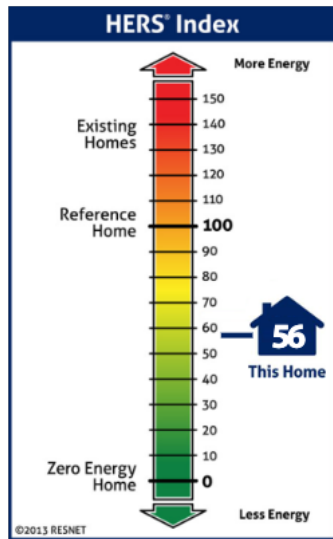
Rating Completed by:

Energy Rater: Kenneth Bailey
RESNET ID: 0004237

Rating Company: HERSmv
60 Halcyon Way, Vineyard Haven, MA. 02568
5085255253

Rating Provider: Performance Systems Development
950 Danby Rd, Ste 201P, Ithaca NY 14850
607-277-6240


Kenneth Bailey, Certified Energy Rater
Digitally signed: 12/13/22 at 5:06 PM



Home Feature Summary:

| | |
|--------------------------|---------------------------------------------------------|
| Home Type: | Single family detached |
| Model: | N/A |
| Community: | N/A |
| Conditioned Floor Area: | 4,874 ft ² |
| Number of Bedrooms: | 5 |
| Primary Heating System: | Air Source Heat Pump • Electric • 11 HSPF |
| Primary Cooling System: | Air Source Heat Pump • Electric • 16.5 SEER |
| Primary Water Heating: | Residential Water Heater • Electric • 3.7 Energy Factor |
| House Tightness: | 3 ACH50 |
| Ventilation: | 100 CFM • 45 Watts |
| Duct Leakage to Outside: | Untested Forced Air |
| Above Grade Walls: | R-21 |
| Ceiling: | Vaulted Roof, R-49 |
| Window Type: | U-Value: 0.28, SHGC: 0.29 |
| Foundation Walls: | N/A |
| Framed Floor: | R-39 |



Energy savings calculated without modifications to the energy model. (As Modeled)

Ekotrope RATER - Version:4.0.2.3051
The Energy Rating Disclosure for this home is available from the Approved Rating Provider.
This report does not constitute any warranty or guarantee.

WEBSTER RESIDENCE

DESIGN CRITERIA

- BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE (MSBC) & THE INTERNATIONAL RESIDENTIAL CODE EDITION 2015 (IRC)
- LOADS:

| | DEAD | LIVE / SNOW |
|----------|--------|-------------|
| a) ROOF | 15 PSF | 25 PSF |
| b) FLOOR | 15 PSF | 40 PSF |
| c) DECK | 15 PSF | 60 PSF |
- WIND LOADS:
 - BASIC WIND SPEED = 140 mph - EXPOSURE B AS PER MSBC
- METAL CONNECTOR CLIPS TO BE PROVIDED & INSTALLED AS PER THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) AS DESCRIBED IN R301.2.1.1 DESIGN CRITERIA
- MINIMUM DEFLECTIONS OF HORIZONTAL STRUCTURAL MEMBERS:
 - FLOOR MEMBERS L/360
 - ROOF MEMBERS L/240
- CONCRETE MINIMUM 28-DAY COMPRESSIVE STRENGTH, f_c
 - FOOTINGS 3,000 psi
 - FOUNDATIONS WALLS 3,000 psi
 - SLAB ON GRADE 3,000 psi
 - HONEY-COMBING, SPALLS, CRACKS, ETC. SHALL BE REPORTED TO THE STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF SYSTEMS NOT SHOWN IN STRUCTURAL PLANS.
- MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODES
- FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DOCUMENTS, REFER TO ARCHITECTURAL DOCUMENTS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. TEMPORARY SHORING & SUPPORT MAY BE REQUIRED DURING INTERMEDIATE STAGES OF CONSTRUCTION.

WIND DESIGN CRITERIA

- BUILDING CODE: SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC EDITION 2015 (SDPWS)
- FRAMING REQUIREMENTS: ALL FRAMING MEMBERS AND BLOCKING USED FOR SHEAR WALL CONSTRUCTION SHALL BE 2" NOMINAL OR GREATER.
- SHEATHING REQUIREMENTS:
 - SHEATHING SHALL BE ATTACHED USING NAILS OR OTHER APPROVED FASTENERS. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH TO THE SURFACE OF THE SHEATHING.
 - PANELS SHALL NOT BE LESS THAN 4' x 8' EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING.
 - NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE

GLOSSARY

| | |
|---------------------------------------------|------------------------------------------|
| ALT - ALTERNATING | MAX - MAXIMUM |
| ARCH - ARCH'L - ARCHITECT / ARCHITECTURAL | MIN - MINIMUM |
| B/ - BOTTOM | MSBC - MASSACHUSETTS STATE BUILDING CODE |
| B/W - BOTH WAYS | MSL - MEAN SEA LEVEL |
| B.N. - BOUNDARY NAILING | (N) - NEW |
| BLK'G - BLOCKING | OC - ON CENTER |
| BM - BEAM | PCF - POUNDS PER CUBIC FOOT |
| BP - BASE PLATE | PL - PLATE |
| C.J. - CEILING JOIST | PLF - POUNDS PER LINEAR FOOT |
| CL - CENTER LINE | PLY - PLYWOOD |
| COL - COLUMN | PORT - PORTLAND CEMENT |
| CONN - CONNECT | PSF - POUNDS PER SQUARE FOOT |
| D.J. - DECK JOIST | PSI - POUNDS PER SQUARE INCH |
| DEV - DEVELOPMENT | PSL - PARALLEL STRAND LUMBER |
| DIA - Ø - DIAMETER | PT - PRESSURE TREATED |
| DIR - DIRECTION | REINF - REINFORCED / REINFORCEMENT |
| DN - DOWN | RET - RETAINING |
| EA - EACH | REQ'D - REQUIRED |
| ECT - ETCETERA | RO - ROUGH OPENING |
| ELEV - ELEVATION | R.R. - ROOF RAFTER |
| EMBED - EMBEDDED | SF - SUBFLOOR |
| E.N. - END NAILING | STAGG - STAGGERED |
| ENG - ENGINEER | STR - STRUCTURAL |
| EQ - EQUALLY | T/ - TOP |
| EXIST - (E) - EXISTING | T/B - TOP AND BOTTOM |
| EXT - EXTERIOR | T&G - TONGUE AND GROVE |
| F.J. - FLOOR JOIST | TBD - TO BE DETERMINED |
| F.N. - FIELD NAILING | TBR - TO BE REMOVED |
| FF - FINISH FLOOR | TJI - ENGINEERED I-JOIST |
| FG - FINISH GRADE | TP - TOP PLATE |
| FOUND - FOUNDATION | TYP - TYPICAL |
| GALV - GALVANIZED | VERT - VERTICAL |
| GLB - GLULAM BEAM | VIF - VERIFY IN FIELD |
| HDR - HEADER | w/ - WITH |
| HORIZ - HORIZONTAL | |
| IBC - INTERNATIONAL BUILDING CODE | |
| IEBC - INTERNATIONAL EXISTING BUILDING CODE | |
| INT - INTERIOR | |
| IRC - INTERNATIONAL RESIDENTIAL CODE | |
| KIP - K - 1000 POUNDS | |
| LB - POUND | |
| LSL - LAMINATED STRAND LUMBER | |

HOLDOWN SCHEDULE

| SYMBOL | HOLDOWN DEVICE | VALUE |
|--------|----------------------------------------------------------------------------------------|------------|
| A | (2)-2x STUD w/ "MSTC40" FLOOR-TO-FLOOR HOLDOWN | 2,655 LBS |
| B | (2)-2x STUD w/ "MSTC52" FLOOR-TO-FLOOR HOLDOWN | 3,985 LBS |
| C | (2)-2x STUD w/ "MSTC66" FLOOR-TO-FLOOR HOLDOWN | 5,850 LBS |
| D | (2)-2x STUD w/ "MSTC48B3" FLOOR-TO-FLOOR HOLDOWN | 3,900 LBS |
| E | (2)-2x STUD w/ "MSTC66B3" FLOOR-TO-FLOOR HOLDOWN | 4,490 LBS |
| F | (2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/8x24" (5/8" Ø A.B.) OR "LSTHD10" / "LSTHD10RJ" | 2,215 LBS |
| G | (2)-2x STUD w/ "HDU4" HOLD-DOWN w/ "SB5/8x24" (5/8" Ø A.B.) OR "LSTHD14" / "LSTHD14RJ" | 3,285 LBS |
| H | (2)-2x STUD w/ "HDU5" HOLD-DOWN w/ "SB5/8x24" (5/8" Ø A.B.) | 4,340 LBS |
| J | (2)-2x STUD w/ "HDU8" HOLD-DOWN w/ "SB7/8x24" (7/8" Ø A.B.) | 5,820 LBS |
| K | 4 x 6 POST w/ "HDU1" HOLD-DOWN w/ "SB1x24" (1" Ø A.B.) | 8,030 LBS |
| L | 6 x 6 POST w/ "HDU4" HOLD-DOWN w/ "SB1x24" (1" Ø A.B.) | 12,425 LBS |
| M | (2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/8x24" (5/8" Ø A.B.) OR "LSTHD8" / "LSTHD8RJ" | 9,260 LBS |

NOTES:

- DEEPEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLDOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
- MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
- MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS. MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.
- USE SCHEDULE FOR MIN. POST SIZES, U.N.O. ON PLAN

SPREAD FOOTING SCHEDULE

| SYMBOL | DIMENSIONS & REINFORCEMENTS |
|--------|--------------------------------------------------------------|
| ◇ | 2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY |
| ◇ | 2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY |
| ◇ | 3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY |
| ◇ | 3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY |
| ◇ | 4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY |

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

| CONCRETE EXPOSURE | MEMBER | REINFORCEMENT | SPECIFIED COVER, IN. | |
|-----------------------------------------------------|----------------------------------------------|-----------------------------------------------------------|------------------------------------|-------|
| CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND | ALL | ALL | 3 | |
| | EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | ALL | #6 THROUGH #18 REBAR | 2 |
| | | | #5 REBAR, W31D31 WIRE, AND SMALLER | 1-1/2 |
| NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | SLABS, JOISTS, AND WALLS | #14 AND #18 REBAR | 1-1/2 | |
| | | #11 REBAR AND SMALLER | 3/4 | |
| | BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES | PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS | 1-1/2 | |

ENGINEERED WOOD SUBSTITUTION CHART

| I-JOIST | | | |
|--------------|------------|-------------------------------|----------------|
| MANUFACTURER | TRUS JOIST | NORDIC | BOISE CASCADE |
| PRODUCT | TJI 110 | Ni-20 | BCI 5000 1.7 |
| | TJI 210 | Ni-40x | BCI 6000 1.8 |
| | TJI 230 | Ni-60 | BCI 6500 1.8 |
| | TJI 360 | Ni-80 | BCI 60 2.0 |
| TJI 560 | Ni-90 | BCI 90 2.0 | |
| BEAMS | | | |
| MANUFACTURER | TRUS JOIST | ANTHONY | BOISE CASCADE |
| PRODUCT | LVL 2.0E | POWER BEAM (30F-E2 OR 28F-E2) | VERSA-LAM 2.0E |
| | PSL 2.0E | | VERSA-LAM 2.0E |
| | LSL 1.55E | | VERSA-LAM 1.7E |
| | LSL 1.3E | | VERSA-LAM 1.4E |

(E) FRAMING NOTE

CONTRACTOR TO FIELD VERIFY THAT EXISTING FRAMING IS IN GENERAL CONFORMANCE WITH THE APPROVED STRUCTURAL DRAWINGS AND SHALL NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES

SOIL CLASSIFICATION NOTE

ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

EXPOSED FRAMING NOTE

ALL EXPOSED WOOD DECK FRAMING (i.e. JOISTS, BEAMS, POSTS, ETC.) TO BE PRESSURE TREATED. (U.N.O.)

DRAINAGE NOTE

ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDINGS EDGE

RECESSED LIGHTING NOTE

CONTRACTOR TO LAYOUT ALL ROOF RAFTERS, CEILING, FLOOR & DECK JOIST IN COORDINATION WITH RECESSED LIGHTING LAYOUT SHOWN IN ARCH'L DRAWINGS.

FLOOR / DECK NOTE

CONTRACTOR TO INSTALL FULL-DEPTH BRIDGING OR BLOCKING @ 1/3 SPANS FOR ALL FLOOR/DECK JOIST WITH SPANS GREATER THAN 14'-0".

BASEMENT WALL NOTE

1. OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF SLAB
2. OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF FLOOR FRAMING.

LARGE DOORS / WINDOWS

CONTRACTOR TO ENSURE ALL FINISHES HAVE BEEN INSTALLED/LOADED PRIOR TO INSTALL OF DOORS/WINDOWS WITH OPENINGS LARGER THAN 12'-0" (ALL TRUE GLASS CORNERS) OR PROVIDE GLAZING INSTALLER ACCESS TO BOTH THE TOP AND BOTTOM OF SAID DOORS/WINDOWS AFTER FINISHES TO ALLOW FOR ANY REQUIRED ADJUSTMENTS.

CONCRETE SLAB-ON-GRADE

USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" WWM OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL. VAPOR BARRIER

EXTERIOR WALL SHEATHING

SHEATH ENTIRE EXTERIOR OF BUILDING. 1/2" MIN STRUCTURAL 1" SHEATHING (U.N.O.) 10d COMMON NAILS @ 4" O.C. END NAILING (E.N.) 10d COMMON NAILS @ 6" O.C. FIELD NAILING (F.N.)

ALL SHEATHING TO RUN CONT. w/ E.N. TO RIM JOISTS OR SILL PLATES (WHERE OCCURS) @ BTM. OF WALL & TO RIM JOISTS OR RAFTER/JOIST BLK'G. @ TOP OF WALL.

DECK SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

FLOOR SHEATHING

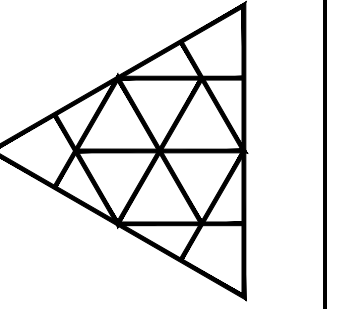
23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

ROOF SHEATHING

19/32" APA-RATED SHEATHING, EXPOSURE 1, 24" MIN. SPAN RATING, 8d COMMON NAILS @ 6" O.C. B.N. & E.N.
8d COMMON NAILS @ 12" O.C. INT. FRAMING

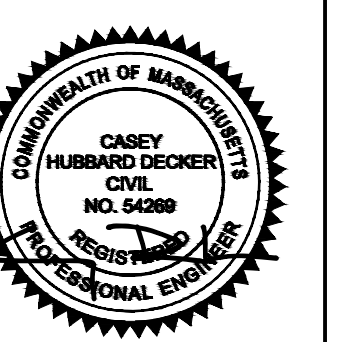
STRUCTURAL LEGEND

- ☒ POST BELOW
- ☐ POST ABOVE
- ▬ TIMBER FRAMING
- ▬ ENGINEERED LUMBER
- ▬ CONCRETE
- ▬ PLYWOOD SHEATHING
- ▬ STRUCTURAL STEEL
- ▬ REBAR
- ▬ STEEL SHEARWALLS & CONNECTORS



| ISSUED FOR | DATE | DRAWN | CHECK |
|------------------|----------|-------|-------|
| PERMIT SET | 11.26.22 | TLS | CHD |
| CONSTRUCTION SET | 12.7.22 | TLS | CHD |

MARTHA'S VINEYARD
ENGINEERING & DESIGN
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MVEENGINEERING.DESIGN



SCALE:
SEE PLANS

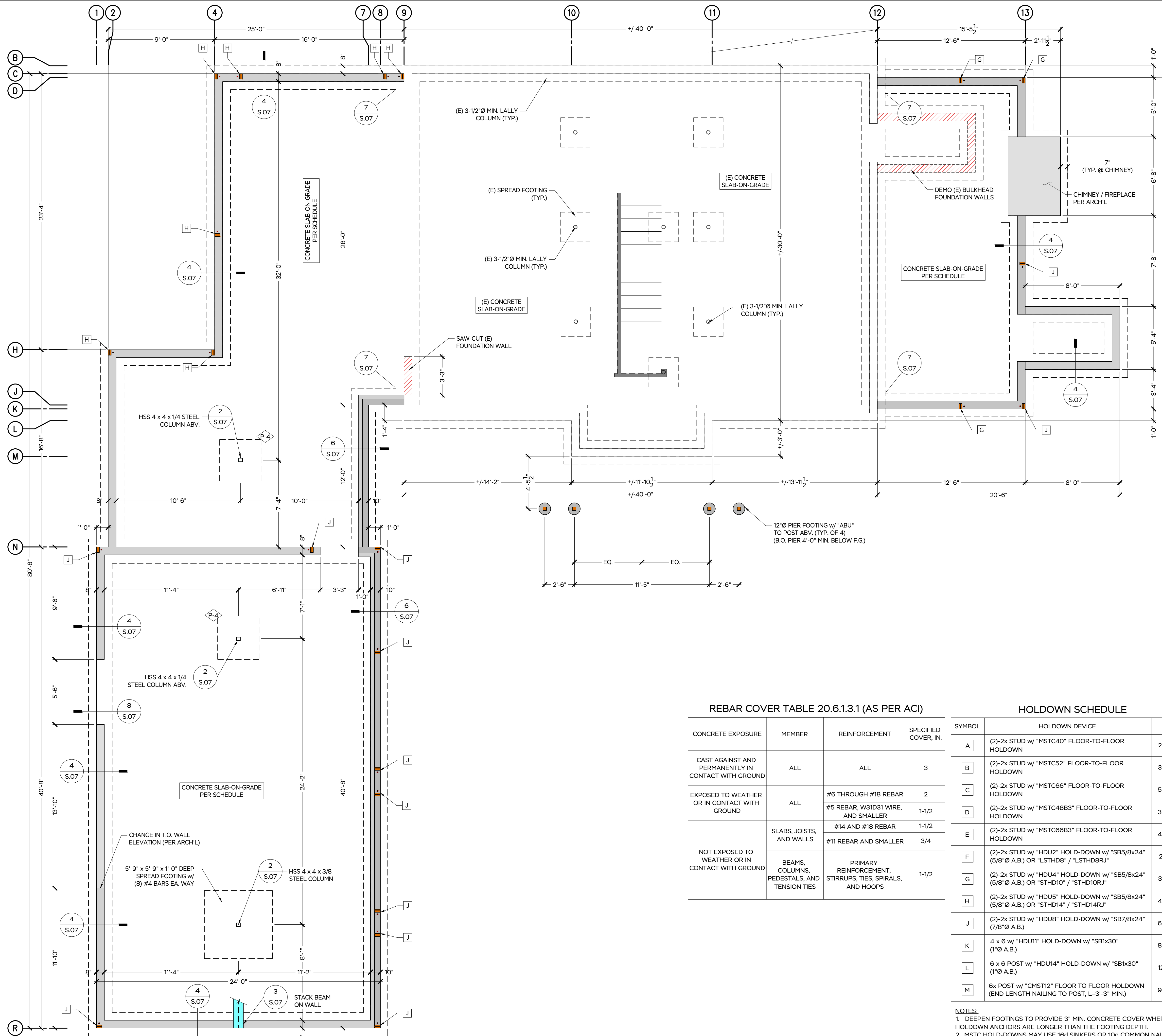
JOB NUMBER:
22068

PROJECT:
WEBSTER RESIDENCE
2 SIMRAN RD,
WEST TISBURY, MA 02575

SHEET TITLE:
STRUCTURAL NOTES
& SCHEDULES

DATE:
7 DEC 2022

S.01



■ EXIST. WALLS TO REMAIN
 ▨ NEW WALLS
 ▨ EXIST WALLS TO BE REMOVED

FOUNDATION PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S01 FOR NOTES AND SCHEDULES

| REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI) | | | |
|-----------------------------------------------------|--------------------------|---------------------------------------------|----------------------|
| CONCRETE EXPOSURE | MEMBER | REINFORCEMENT | SPECIFIED COVER, IN. |
| CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND | ALL | ALL | 3 |
| EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | ALL | #6 THROUGH #18 REBAR | 2 |
| | | #5 REBAR, W31D31 WIRE, AND SMALLER | 1-1/2 |
| | | #14 AND #18 REBAR | 1-1/2 |
| NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | SLABS, JOISTS, AND WALLS | #11 REBAR AND SMALLER | 3/4 |
| | | BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES | 1-1/2 |

| HOLDOWN SCHEDULE | | |
|------------------|-----------------------------------------------------------------------------------------|------------|
| SYMBOL | HOLDOWN DEVICE | VALUE |
| A | (2)-2x STUD w/ "MSTC40" FLOOR-TO-FLOOR HOLD-DOWN | 2,655 LBS |
| B | (2)-2x STUD w/ "MSTC52" FLOOR-TO-FLOOR HOLD-DOWN | 3,985 LBS |
| C | (2)-2x STUD w/ "MSTC66" FLOOR-TO-FLOOR HOLD-DOWN | 5,850 LBS |
| D | (2)-2x STUD w/ "MSTC48B3" FLOOR-TO-FLOOR HOLD-DOWN | 3,900 LBS |
| E | (2)-2x STUD w/ "MSTC66B3" FLOOR-TO-FLOOR HOLD-DOWN | 4,490 LBS |
| F | (2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/Bx24" (5/8" Ø A.B.) OR "LSTHD8" / "LSTHDBRJ" | 2,215 LBS |
| G | (2)-2x STUD w/ "HDU4" HOLD-DOWN w/ "SB5/Bx24" (5/8" Ø A.B.) OR "STHD10" / "STHD10RJ" | 3,285 LBS |
| H | (2)-2x STUD w/ "HDU5" HOLD-DOWN w/ "SB5/Bx24" (5/8" Ø A.B.) OR "STHD14" / "STHD14RJ" | 4,340 LBS |
| J | (2)-2x STUD w/ "HDU8" HOLD-DOWN w/ "SB7/Bx24" (7/8" Ø A.B.) | 6,580 LBS |
| K | 4 x 6 w/ "HDU1" HOLD-DOWN w/ "SB1x30" (1" Ø A.B.) | 8,030 LBS |
| L | 6 x 6 POST w/ "HDU14" HOLD-DOWN w/ "SB1x30" (1" Ø A.B.) | 12,425 LBS |
| M | 6x POST w/ "CMST12" FLOOR TO FLOOR HOLD-DOWN (END LENGTH NAILING TO POST, L=3'-3" MIN.) | 9,215 LBS |

NOTES:
 1. DEEPEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLD-DOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
 2. MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
 3. MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS. MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.

SOIL CLASSIFICATION NOTE
 ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

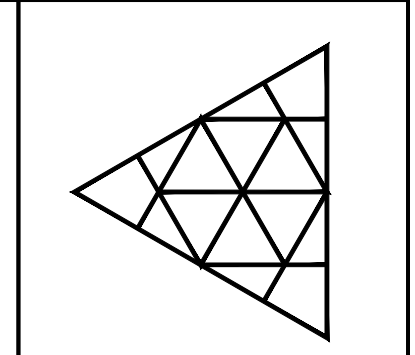
CONCRETE SLAB-ON-GRADE
 USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" WWM OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL. VAPOR BARRIER

DRAINAGE NOTE
 ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDING'S EDGE

BASEMENT WALL NOTE
 1. OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF SLAB
 2. OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF FLOOR FRAMING.

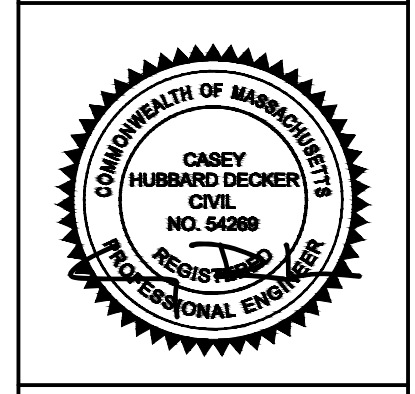
| SPREAD FOOTING SCHEDULE | |
|-------------------------|--------------------------------------------------------------|
| SYMBOL | DIMENSIONS & REINFORCEMENTS |
| P-1 | 2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY |
| P-2 | 2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY |
| P-3 | 3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY |
| P-4 | 3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY |
| P-5 | 4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY |

| STRUCTURAL LEGEND | |
|-------------------|-------------------------------|
| ⊠ | POST BELOW |
| □ | POST ABOVE |
| ▨ | TIMBER FRAMING |
| ▨ | ENGINEERED LUMBER |
| ▨ | CONCRETE |
| ▨ | PLYWOOD SHEATHING |
| ▨ | STRUCTURAL STEEL |
| ▨ | REBAR |
| ▨ | STEEL SHEARWALLS & CONNECTORS |



| ISSUED FOR | DATE | DRAWN | CHECK |
|------------------|----------|-------|-------|
| PERMIT SET | 11.26.22 | TLS | CHD |
| CONSTRUCTION SET | 12.7.22 | TLS | CHD |

MARTHA'S VINEYARD ENGINEERING & DESIGN
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE: **SEE PLANS**

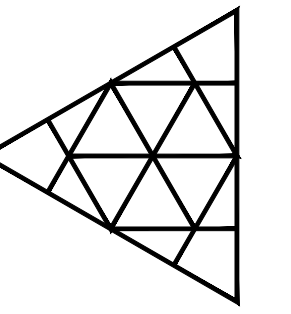
JOB NUMBER: **22068**

PROJECT: **WEBSTER RESIDENCE**
2 SIMRAN RD,
WEST TISBURY, MA 02575
 SHEET TITLE: **FOUNDATION PLAN**

DATE: **7 DEC 2022**

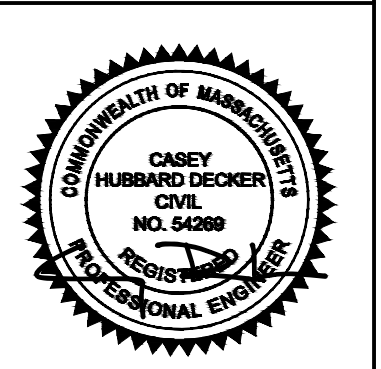
S.02

SCALE: 1/4" = 1'-0"



| | |
|------------|------------------|
| CHECK | CHD |
| DRAWN | TLS |
| DATE | 11/26/22 |
| ISSUED FOR | PERMIT SET |
| | CONSTRUCTION SET |

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SCALE:
SEE PLANS

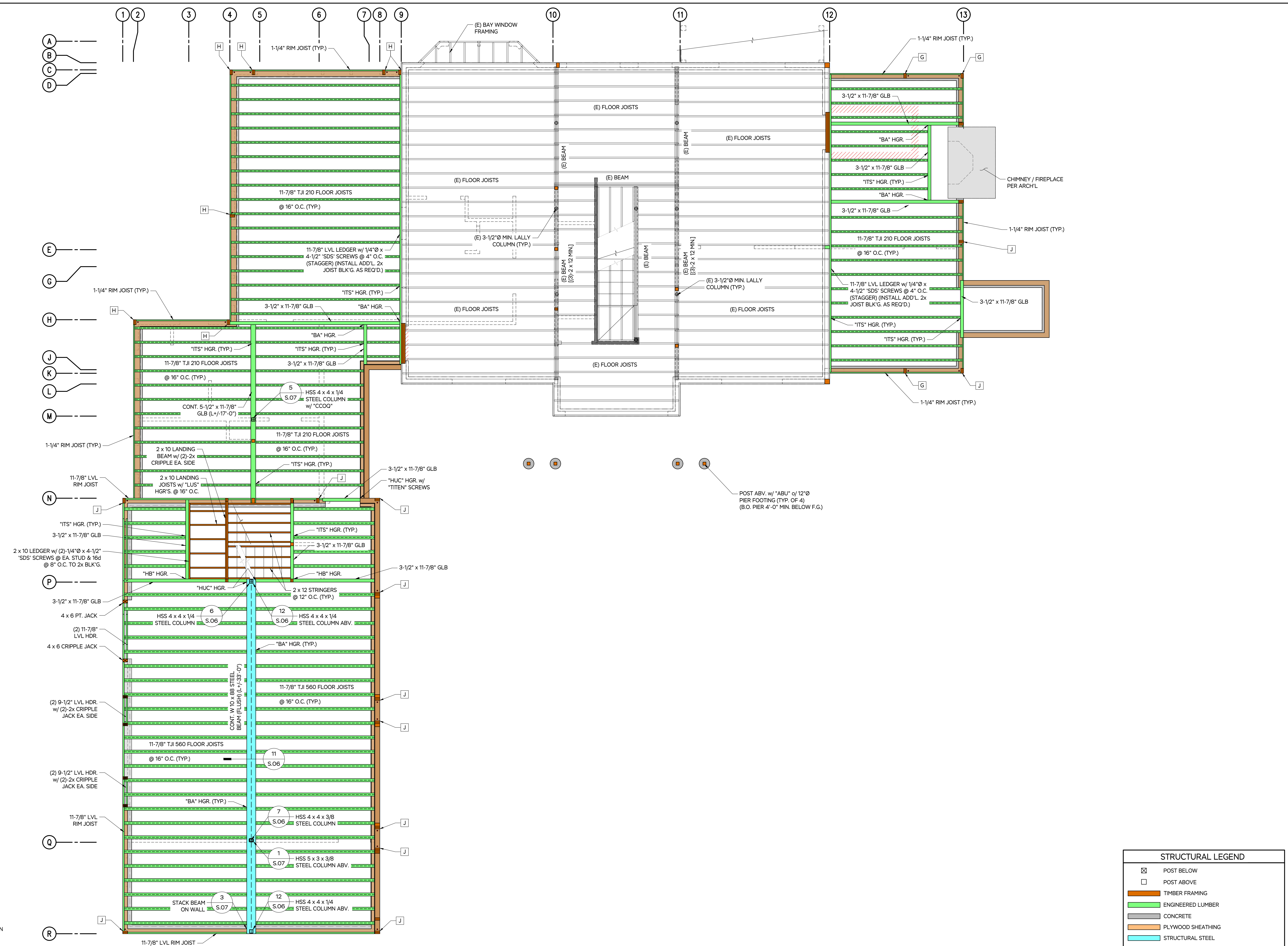
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22068

PROJECT:
**WEBSTER RESIDENCE
2 SIMRAN RD,
WEST TISBURY, MA 02575**

SHEET TITLE:
**1st FLOOR FRAMING /
UPPER FOUNDATION PLAN**

DATE:
7 DEC 2022

S.03

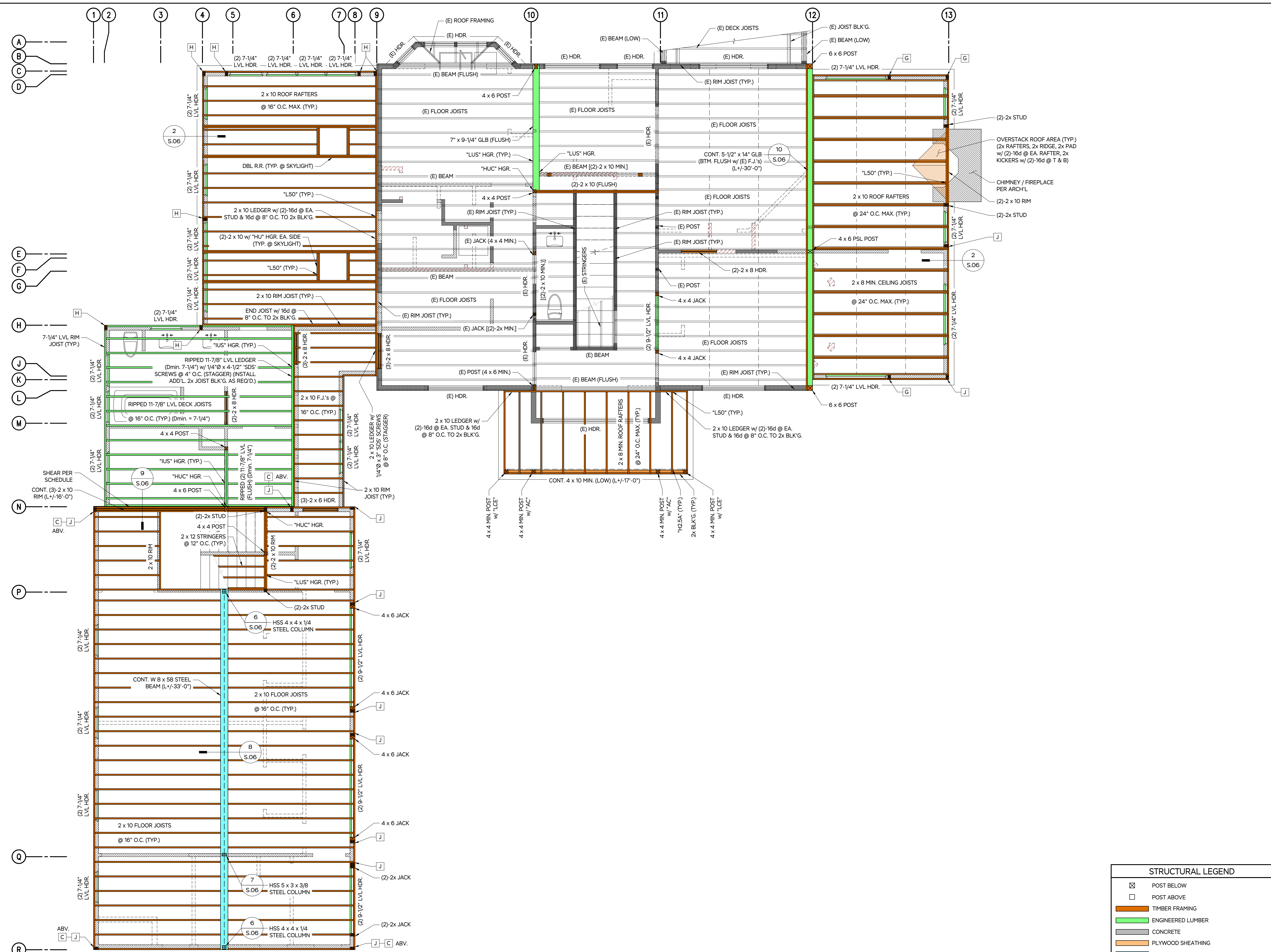


| STRUCTURAL LEGEND | |
|-------------------|-------------------------------|
| | POST BELOW |
| | POST ABOVE |
| | TIMBER FRAMING |
| | ENGINEERED LUMBER |
| | CONCRETE |
| | PLYWOOD SHEATHING |
| | STRUCTURAL STEEL |
| | REBAR |
| | STEEL SHEARWALLS & CONNECTORS |

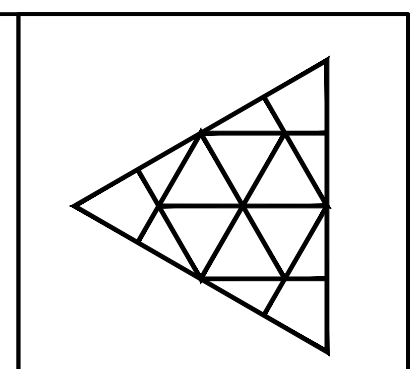
1ST FLOOR FRAMING / UPPER FOUNDATION PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE SOT FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"

EXIST. WALLS TO REMAIN
NEW WALLS
EXIST WALLS TO BE REMOVED

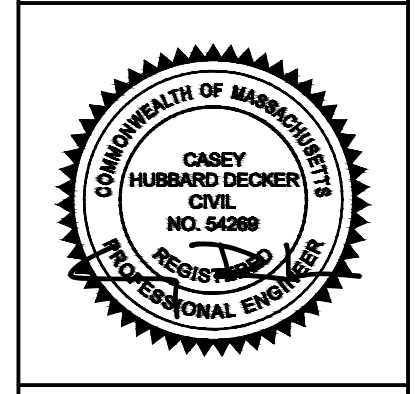


2ND FLOOR / LOWER ROOF FRAMING PLAN
 VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S.01 FOR NOTES AND SCHEDULES
 SCALE: 1/4" = 1'-0"



| ISSUED FOR | DATE | DRAWN | CHECK |
|------------------|----------|-------|-------|
| PERMIT SET | 11/28/22 | TLS | CHD |
| CONSTRUCTION SET | 12/7/22 | TLS | CHD |

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SCALE:
SEE PLANS

JOB NUMBER:
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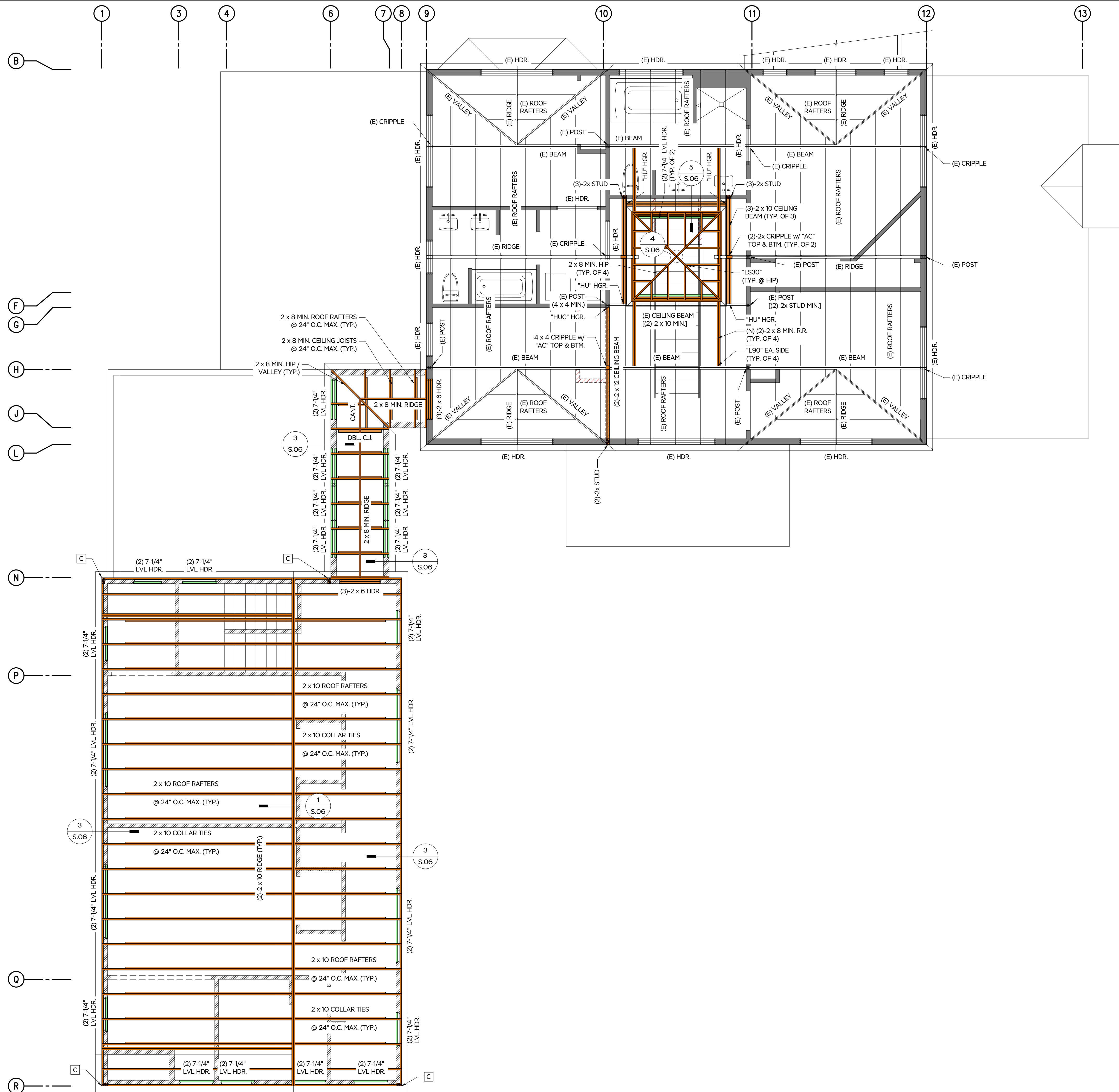
PROJECT:
**WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575**

SHEET TITLE:
**2ND FLOOR / LOWER
 ROOF FRAMING PLAN**

DATE:
7 DEC 2022

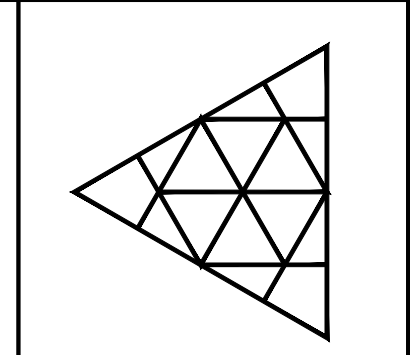
S.04

| STRUCTURAL LEGEND | |
|-------------------|-------------------------------|
| | POST BELOW |
| | POST ABOVE |
| | TIMBER FRAMING |
| | ENGINEERED LUMBER |
| | CONCRETE |
| | PLYWOOD SHEATHING |
| | STRUCTURAL STEEL |
| | REBAR |
| | STEEL SHEARWALLS & CONNECTORS |



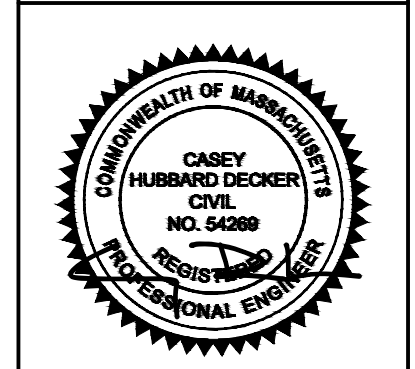
UPPER ROOF FRAMING PLAN
 VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S.01 FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"



| ISSUED FOR | DATE | DRAWN | CHECK |
|------------------|----------|-------|-------|
| PERMIT SET | 11/28/22 | TLS | CHD |
| CONSTRUCTION SET | 12/7/22 | TLS | CHD |

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SCALE:
SEE PLANS

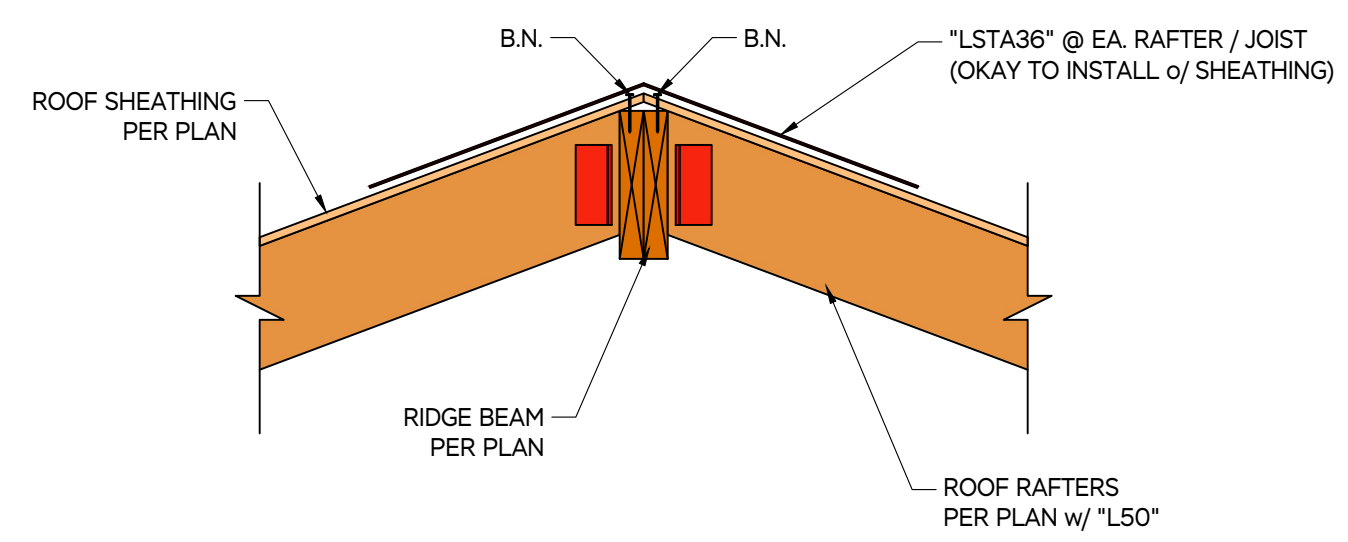
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PROJECT:
**WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575**

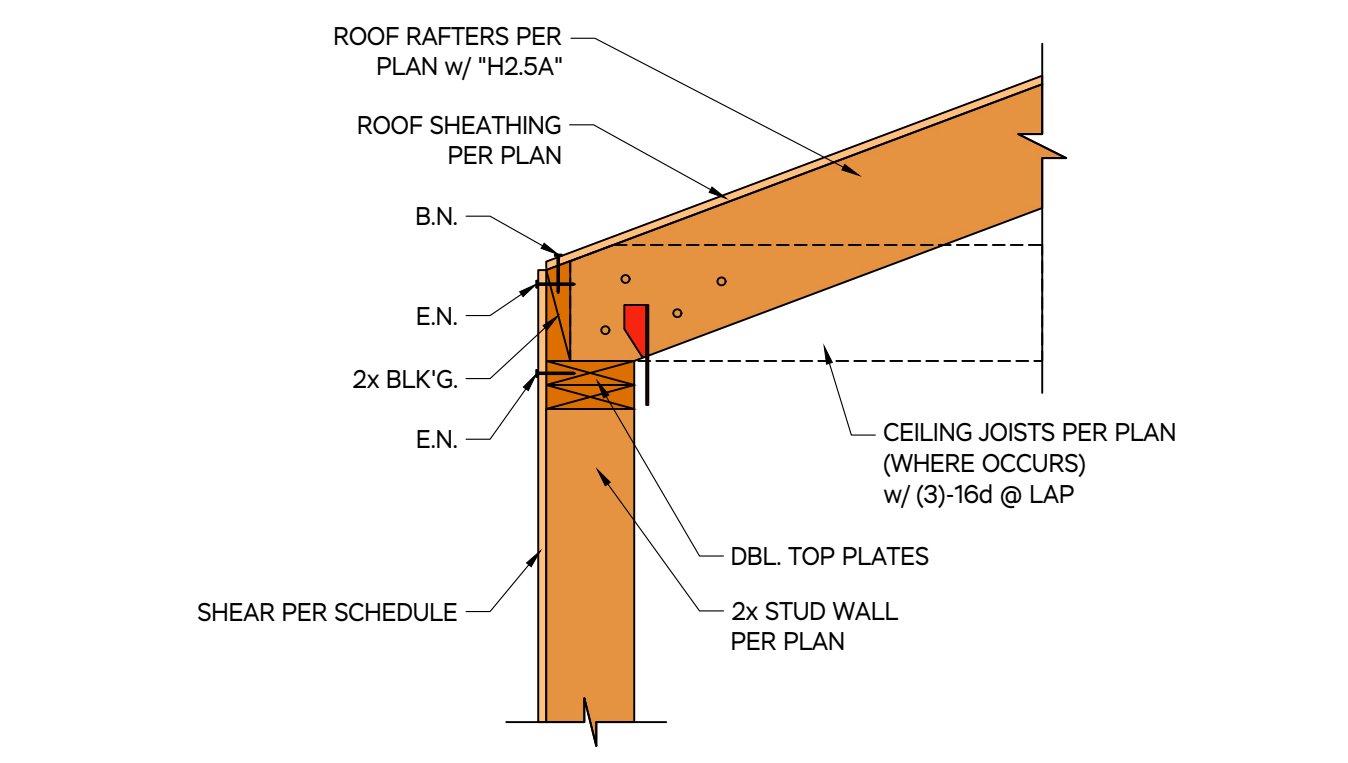
SHEET TITLE:
**2ND FLOOR / LOWER ROOF
 FRAMING PLAN &
 UPPER ROOF FRAMING PLAN**

DATE:
7 DEC 2022

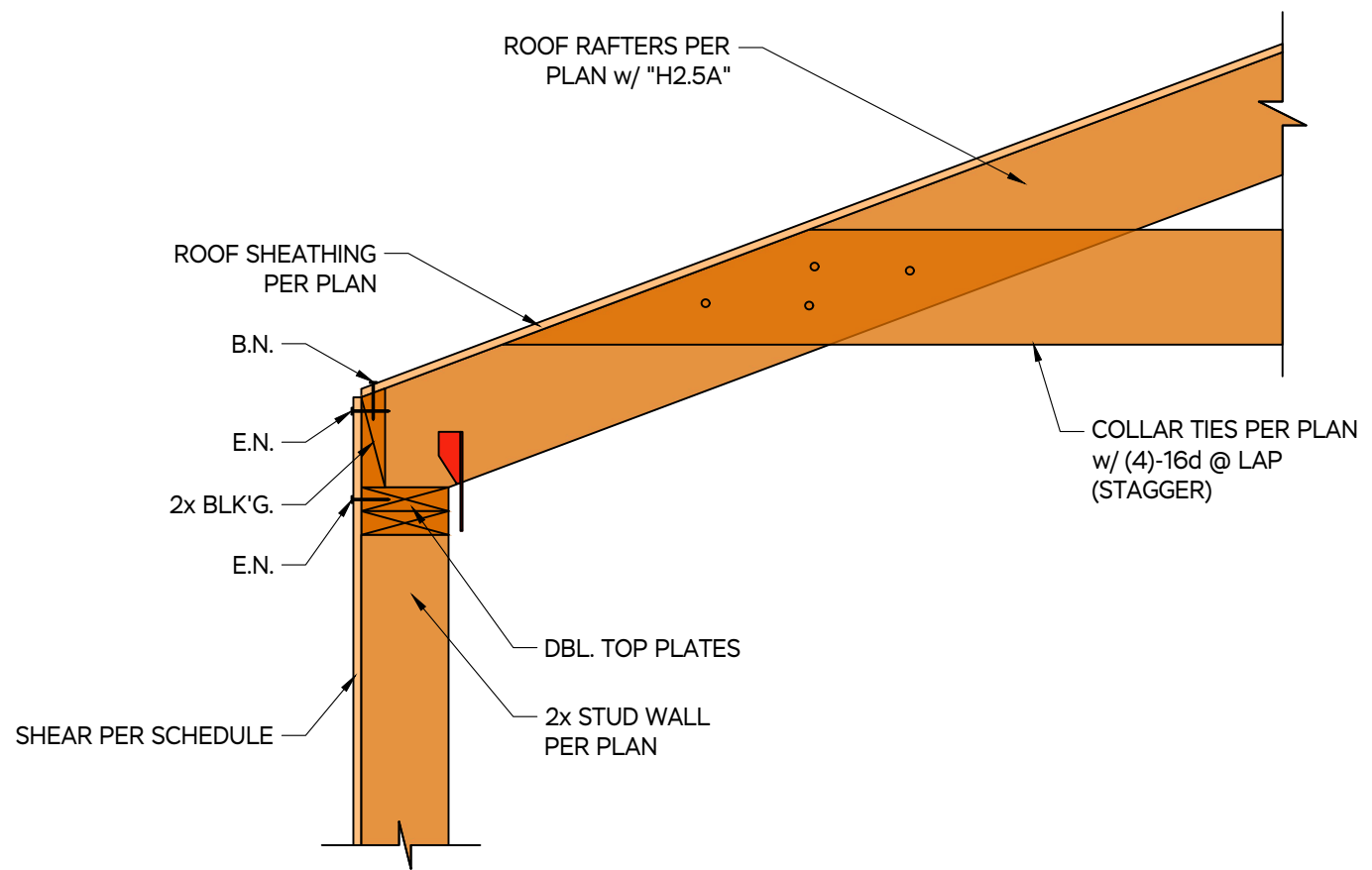
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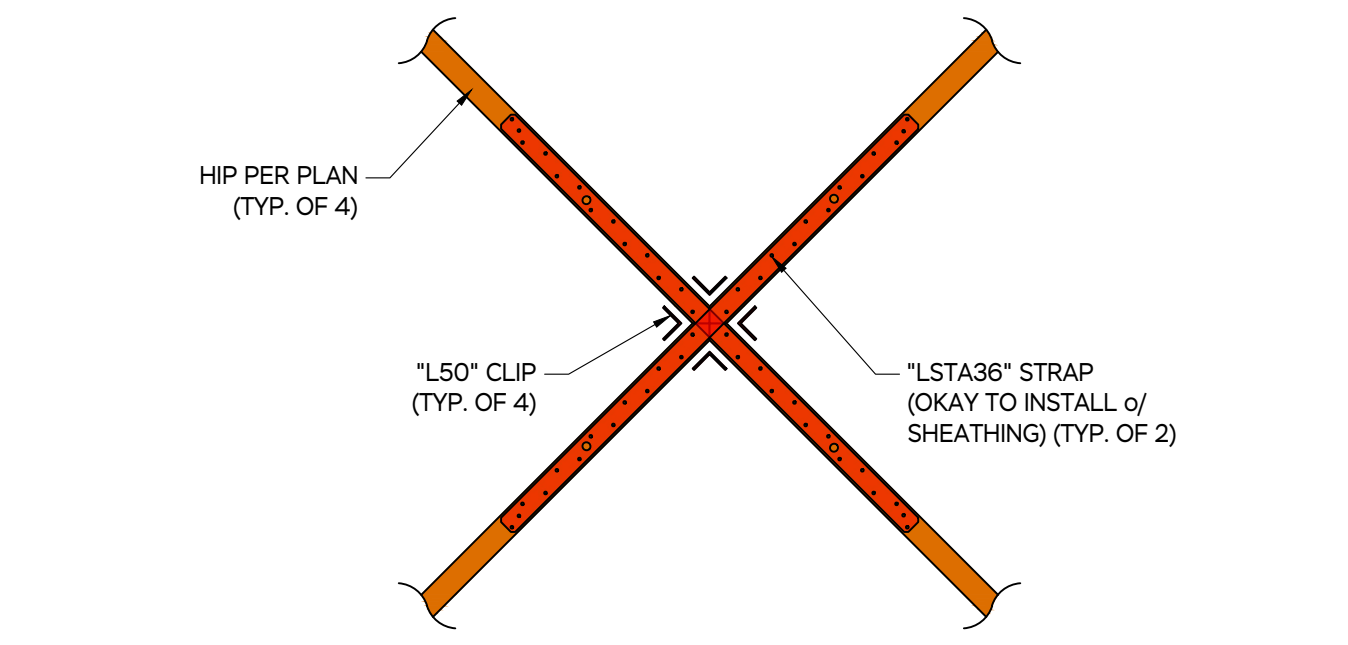
1 CONNECTION DETAIL NOT TO SCALE



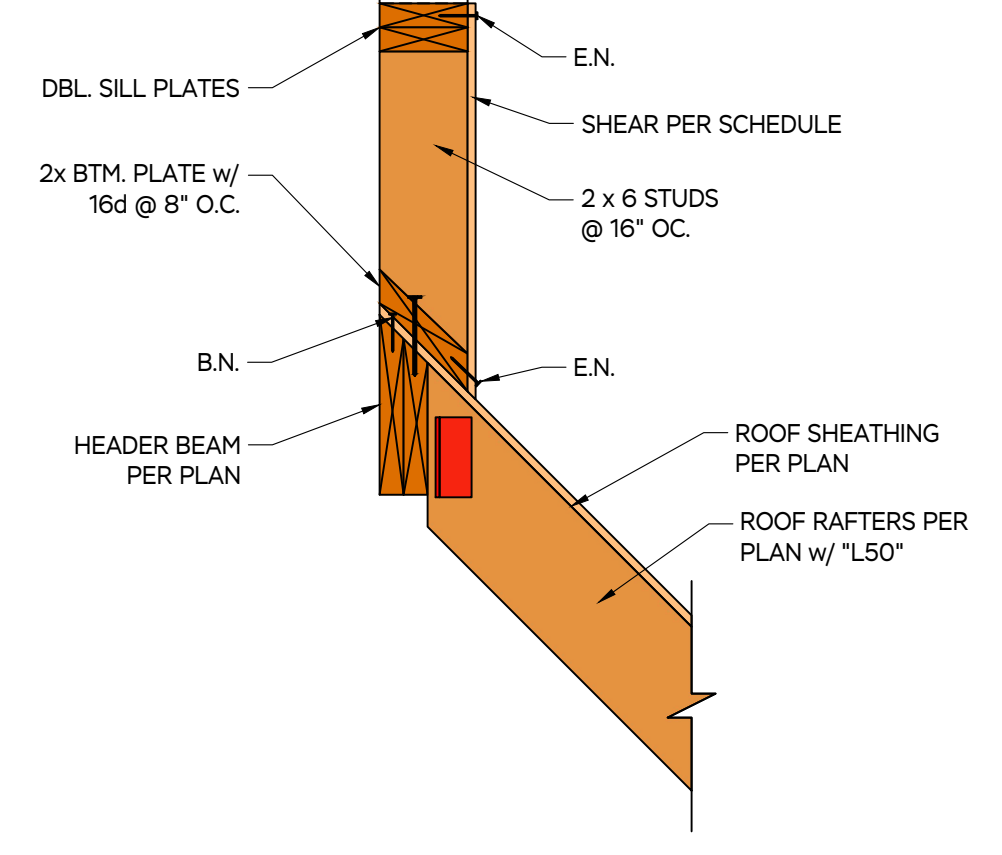
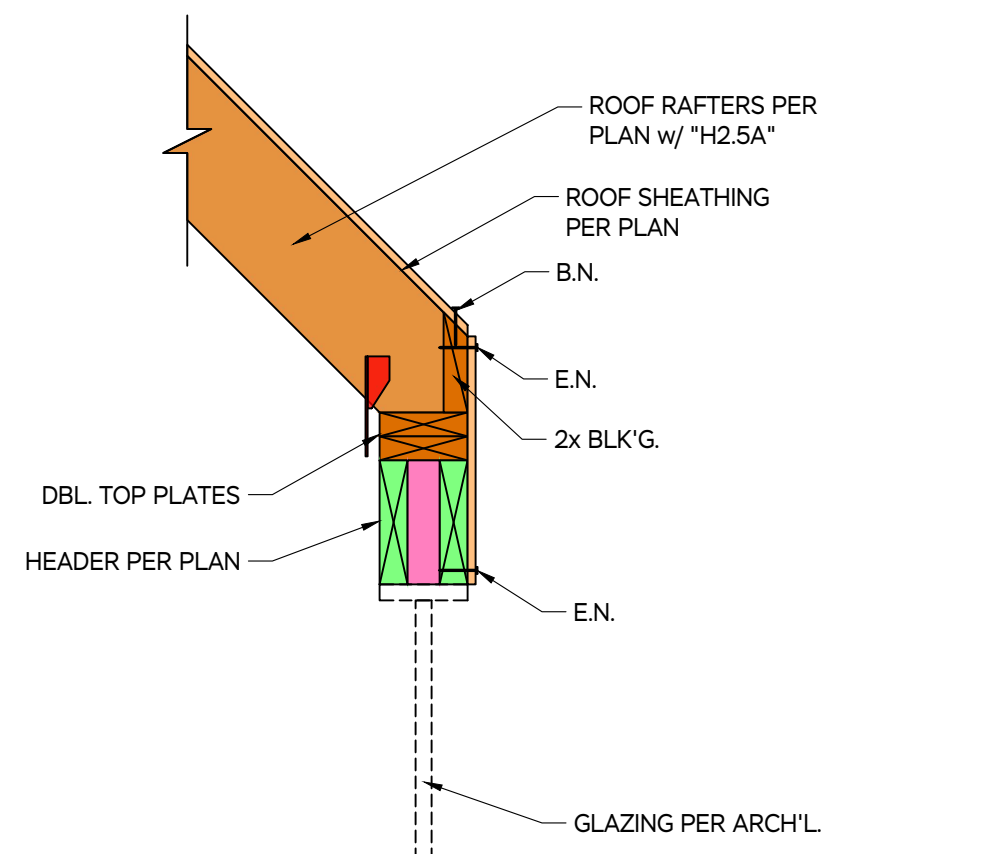
2 SHEAR TRANSFER DETAIL NOT TO SCALE



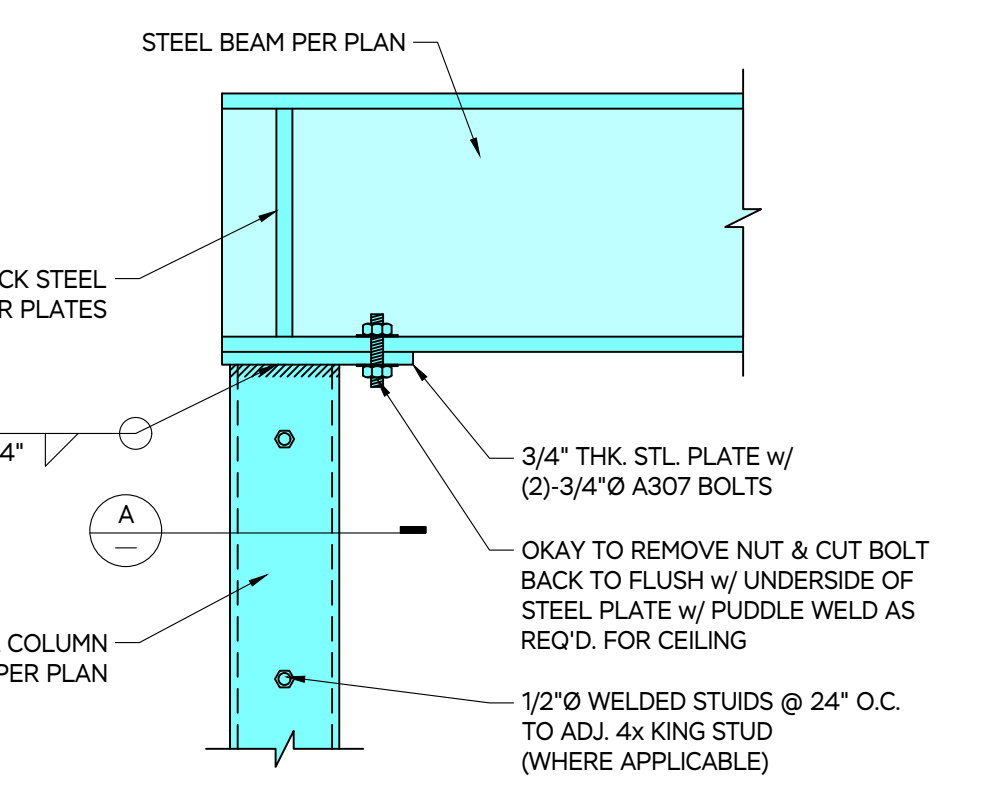
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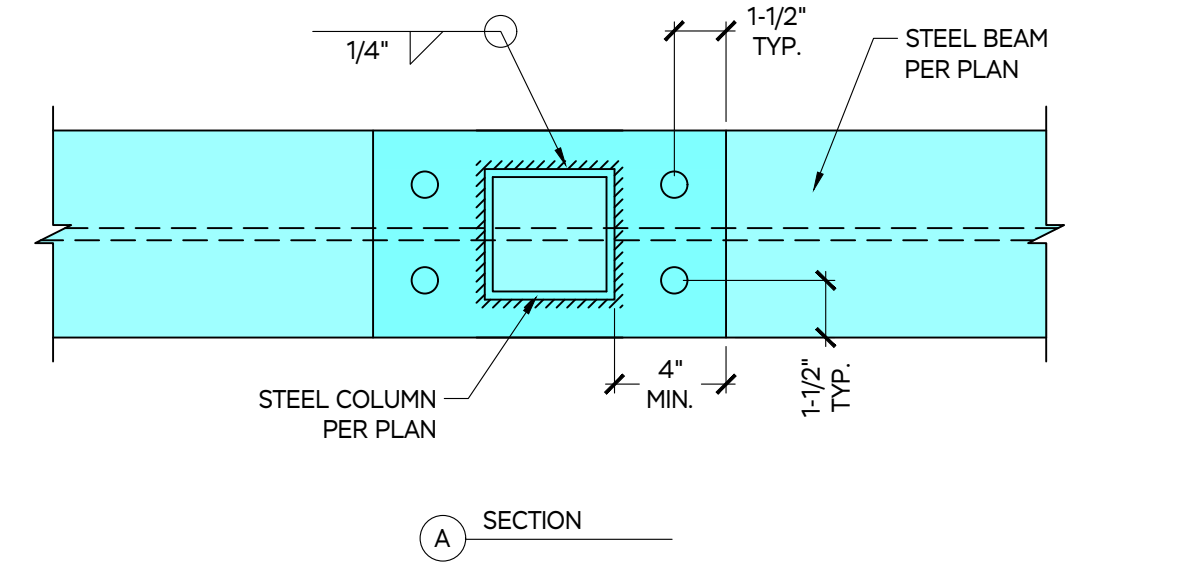
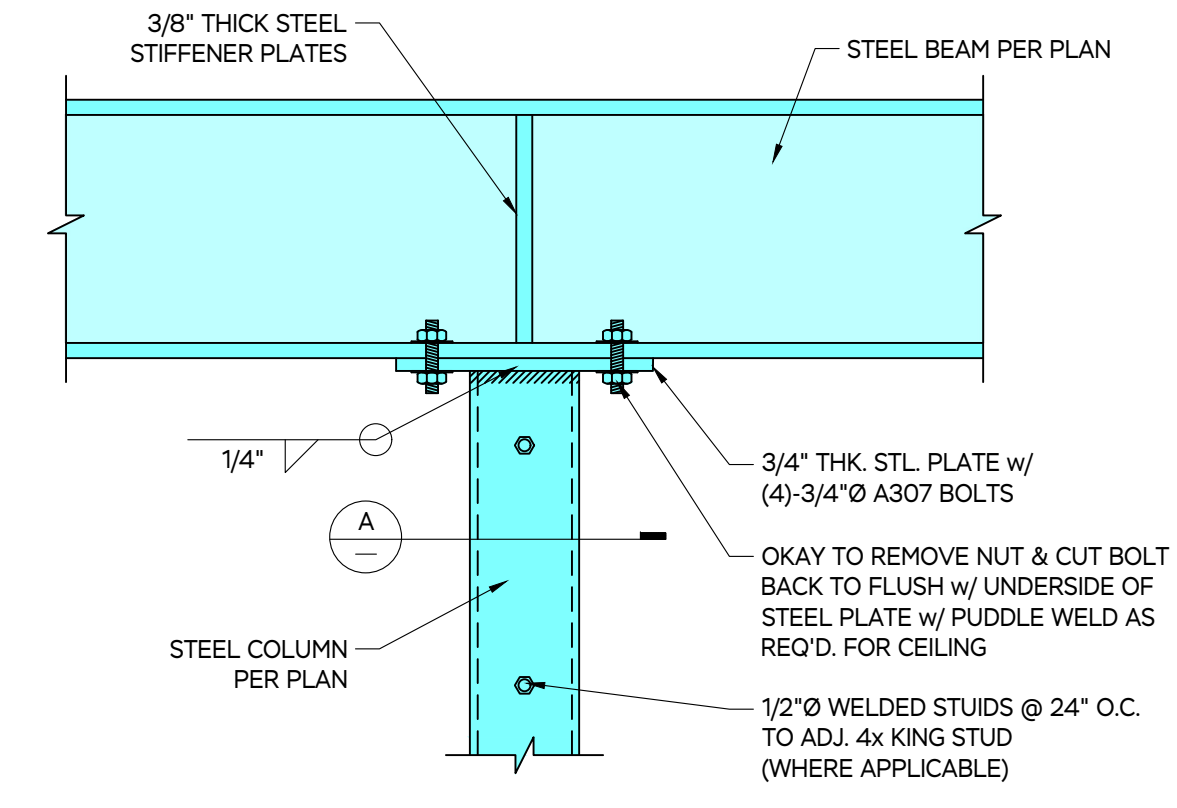
4 CONNECTION DETAIL NOT TO SCALE



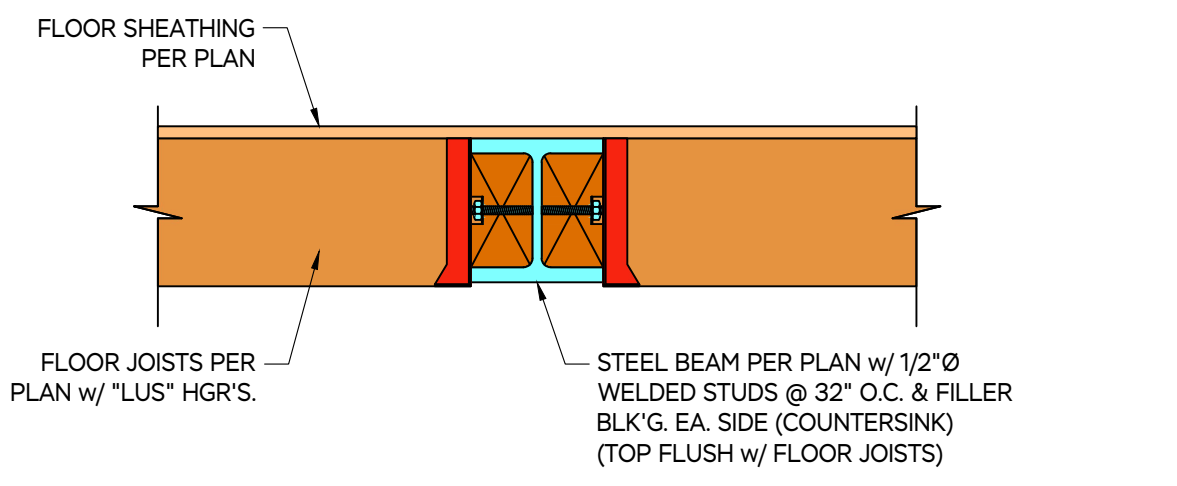
5 CONNECTION DETAIL NOT TO SCALE



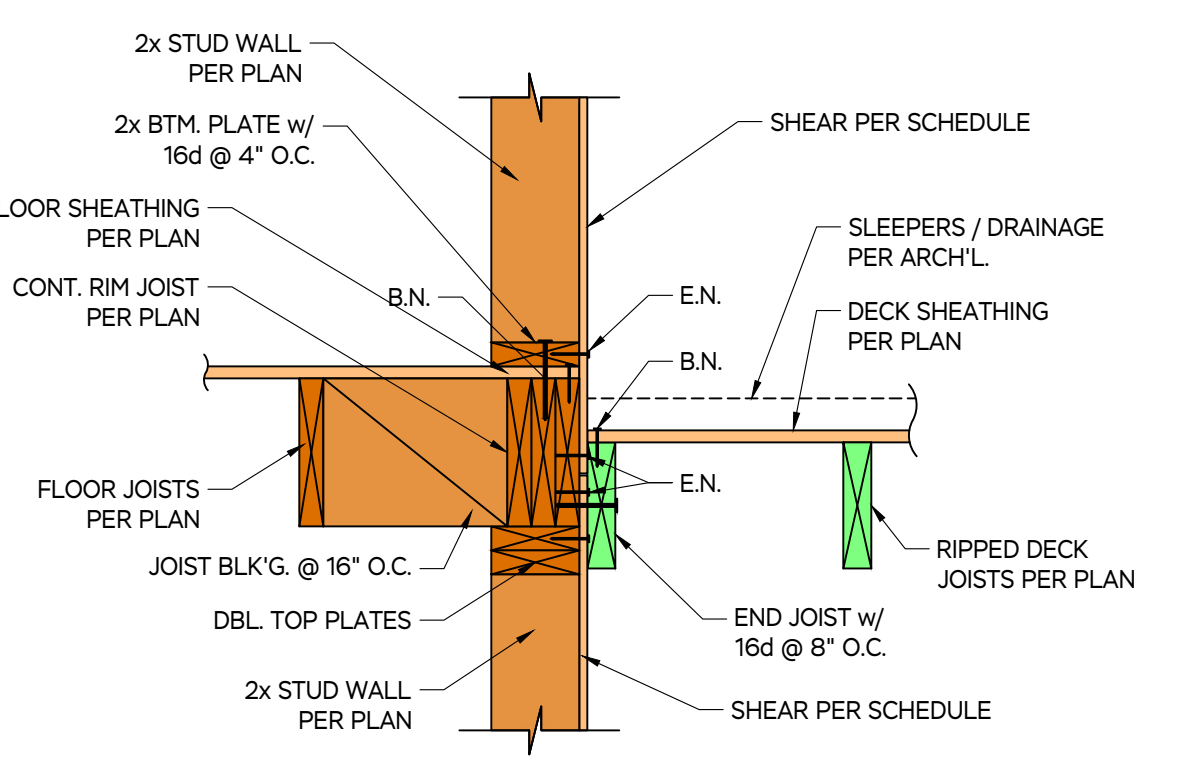
6 STEEL CONNECTION DETAIL NOT TO SCALE



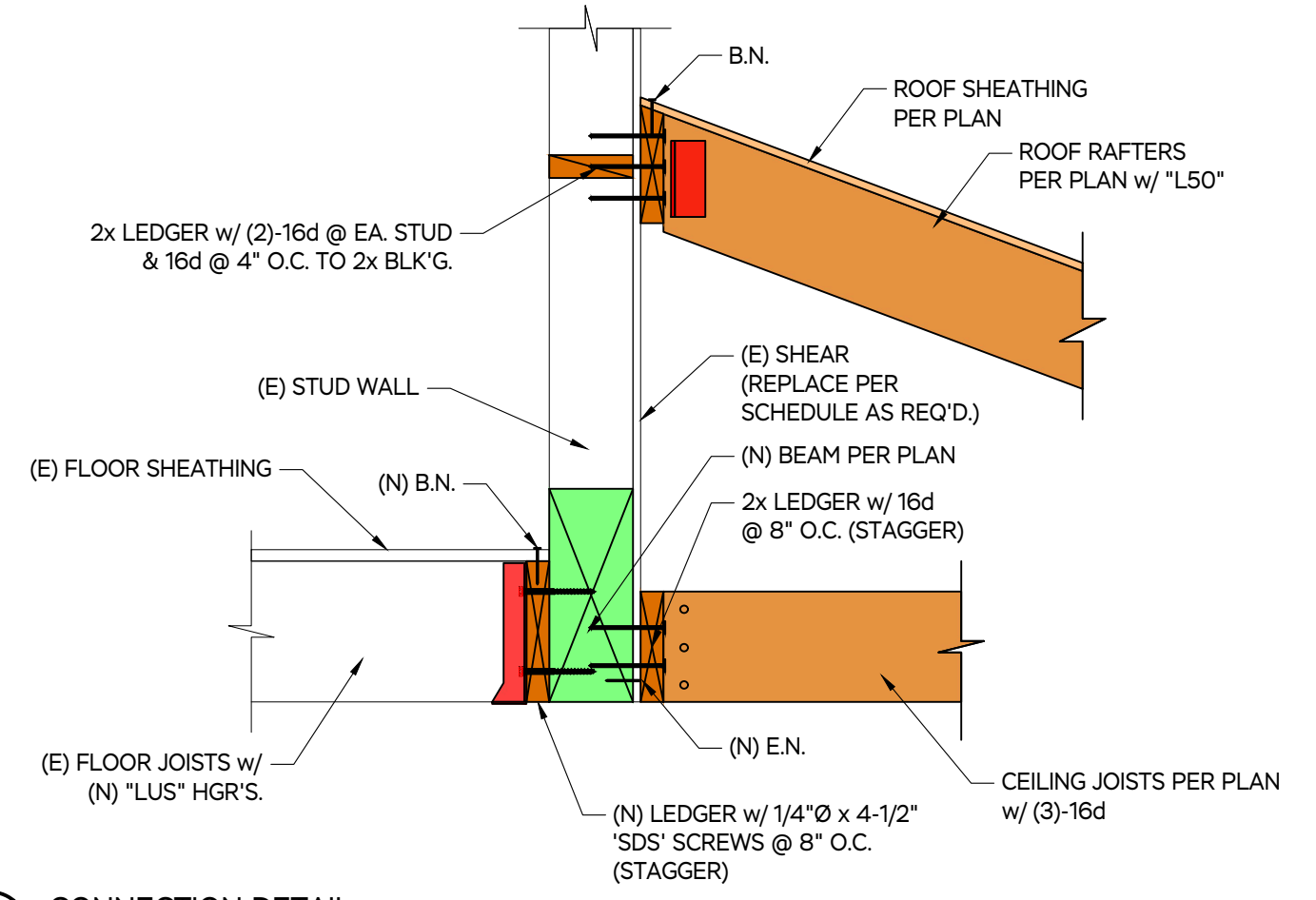
7 STEEL CONNECTION DETAIL NOT TO SCALE



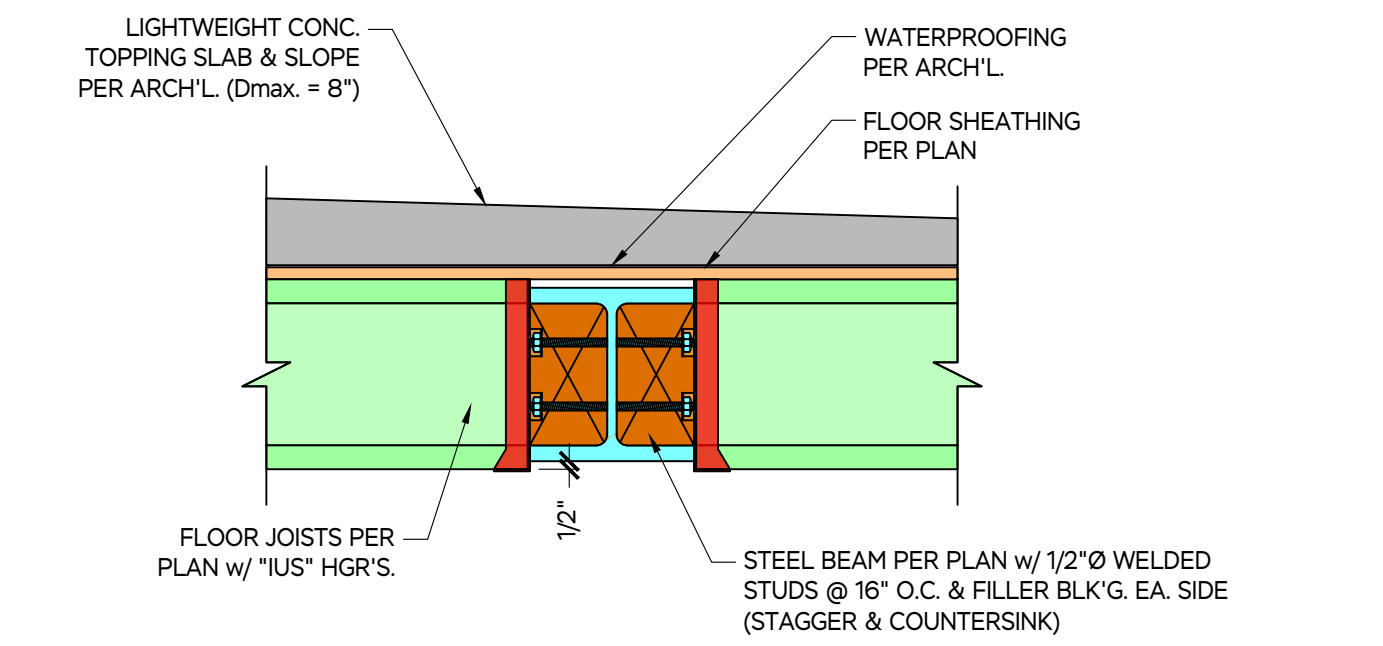
8 STEEL CONNECTION DETAIL NOT TO SCALE



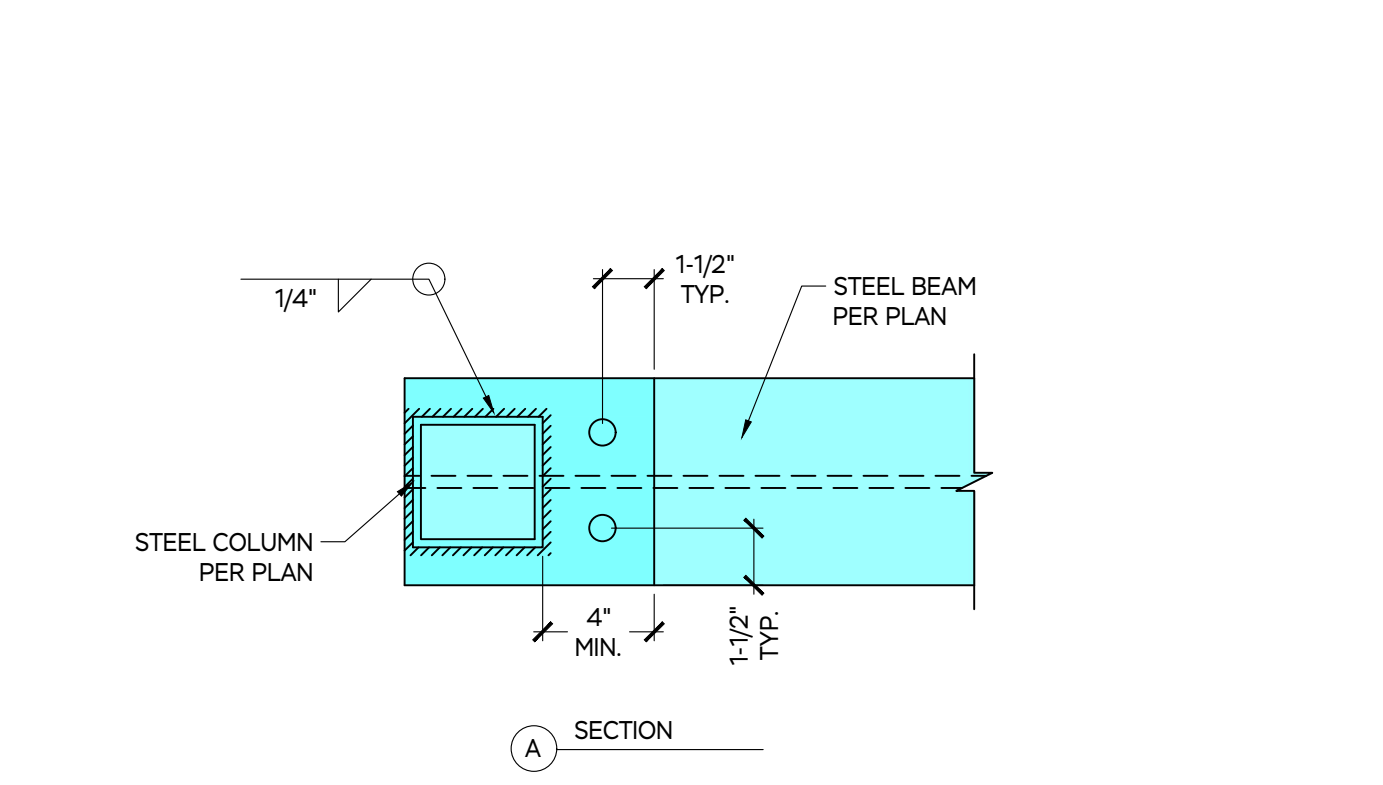
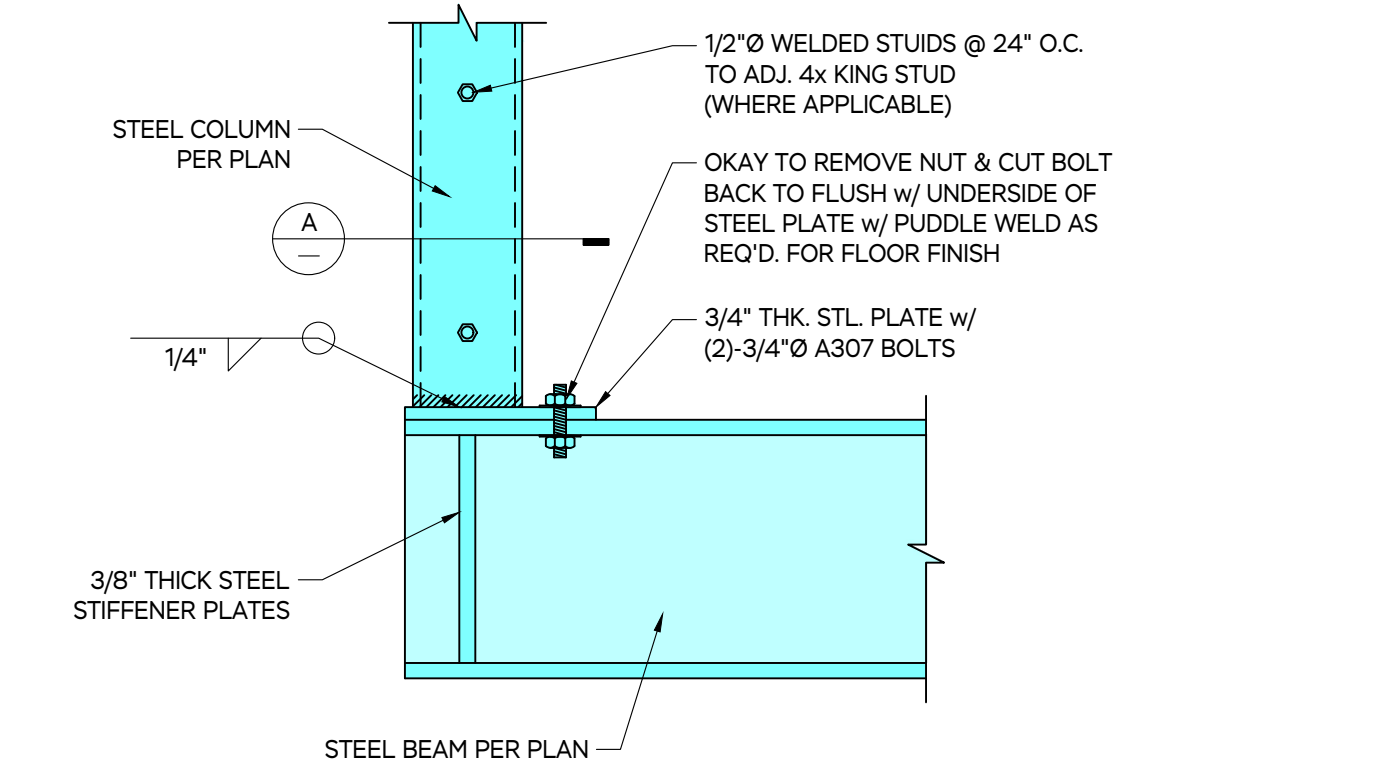
9 SHEAR TRANSFER DETAIL NOT TO SCALE



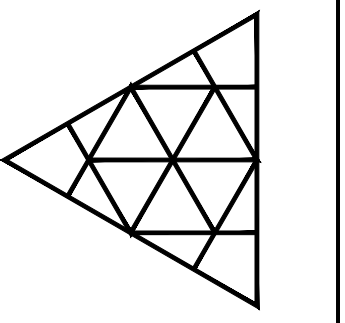
10 CONNECTION DETAIL



11 STEEL CONNECTION DETAIL

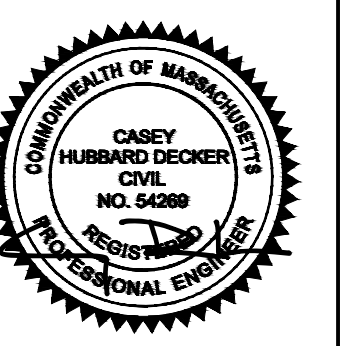


12 STEEL CONNECTION DETAIL NOT TO SCALE



| CHECK | CHD | CHD |
|------------|------------|------------------|
| DRAWN | TLS | TLS |
| DATE | 11/28/22 | 12/7/22 |
| ISSUED FOR | PERMIT SET | CONSTRUCTION SET |

MARTHA'S VINEYARD
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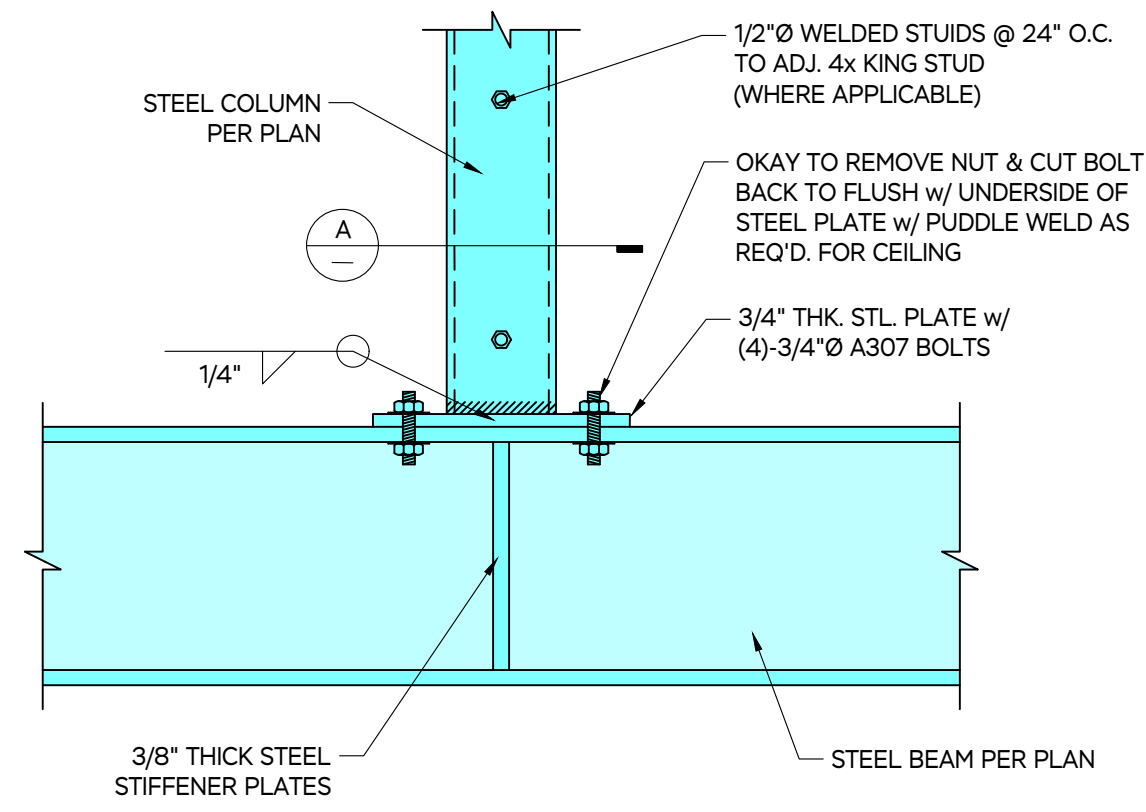
SCALE: SEE PLANS

JOB NUMBER: 22068

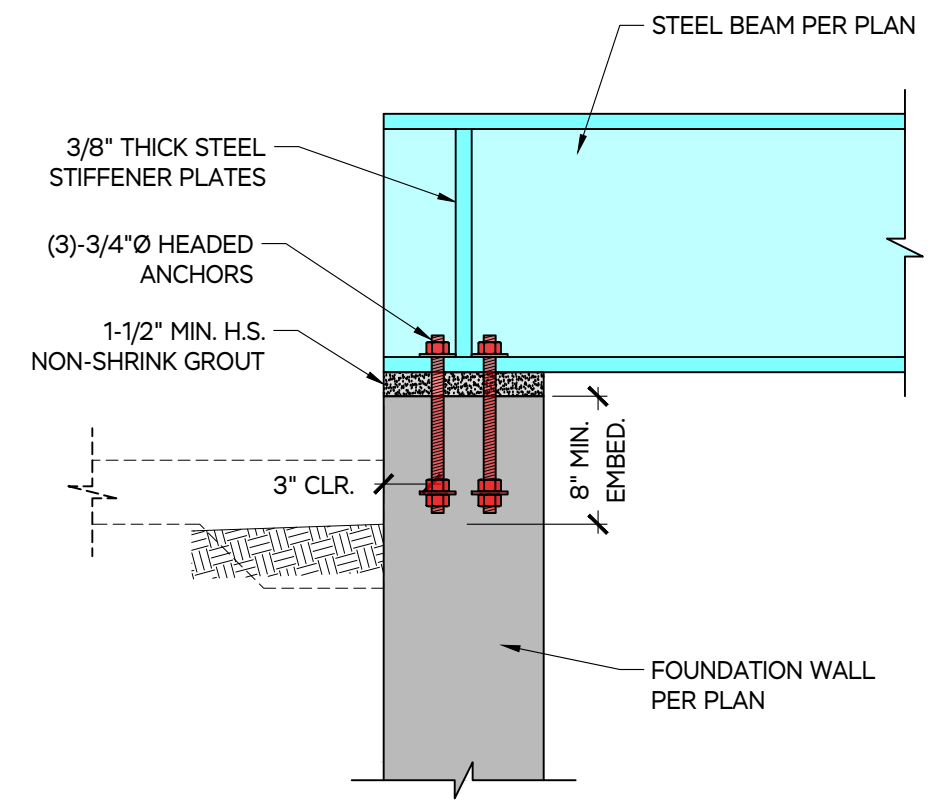
PROJECT: WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575

DATE: 7 DEC 2022

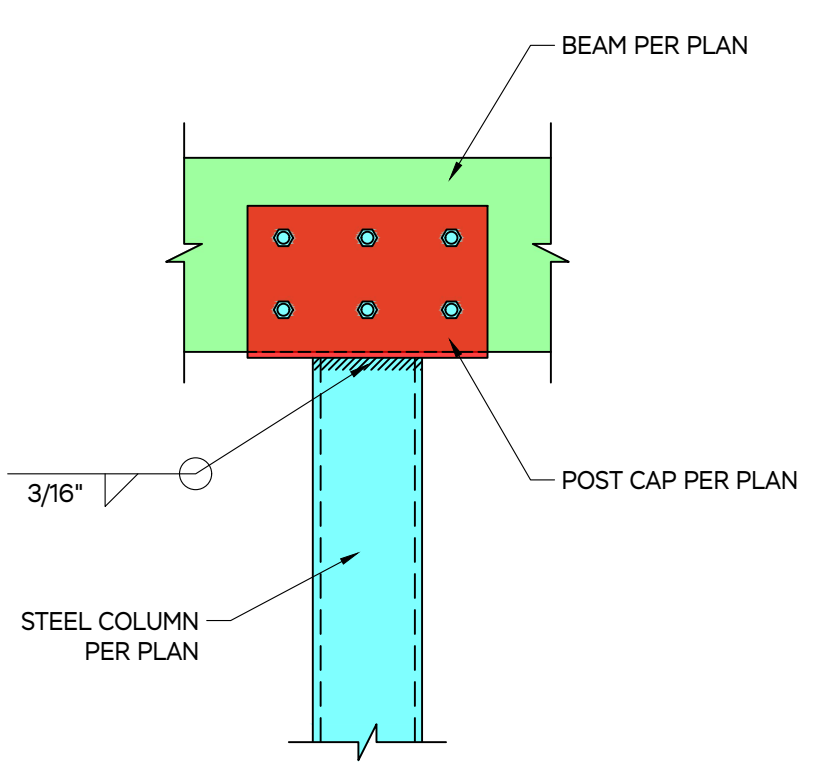
SHEET TITLE: STRUCTURAL DETAILS
S.06



3 STEEL CONNECTION DETAIL NOT TO SCALE

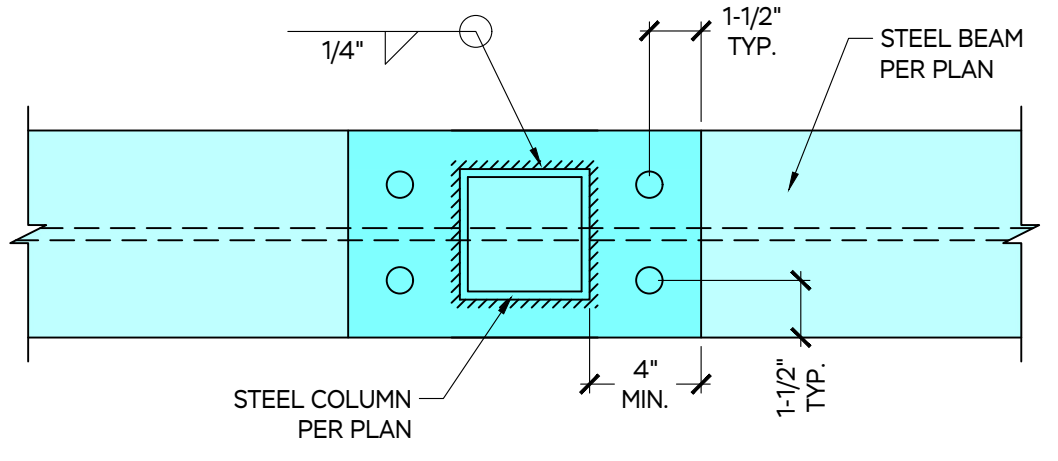
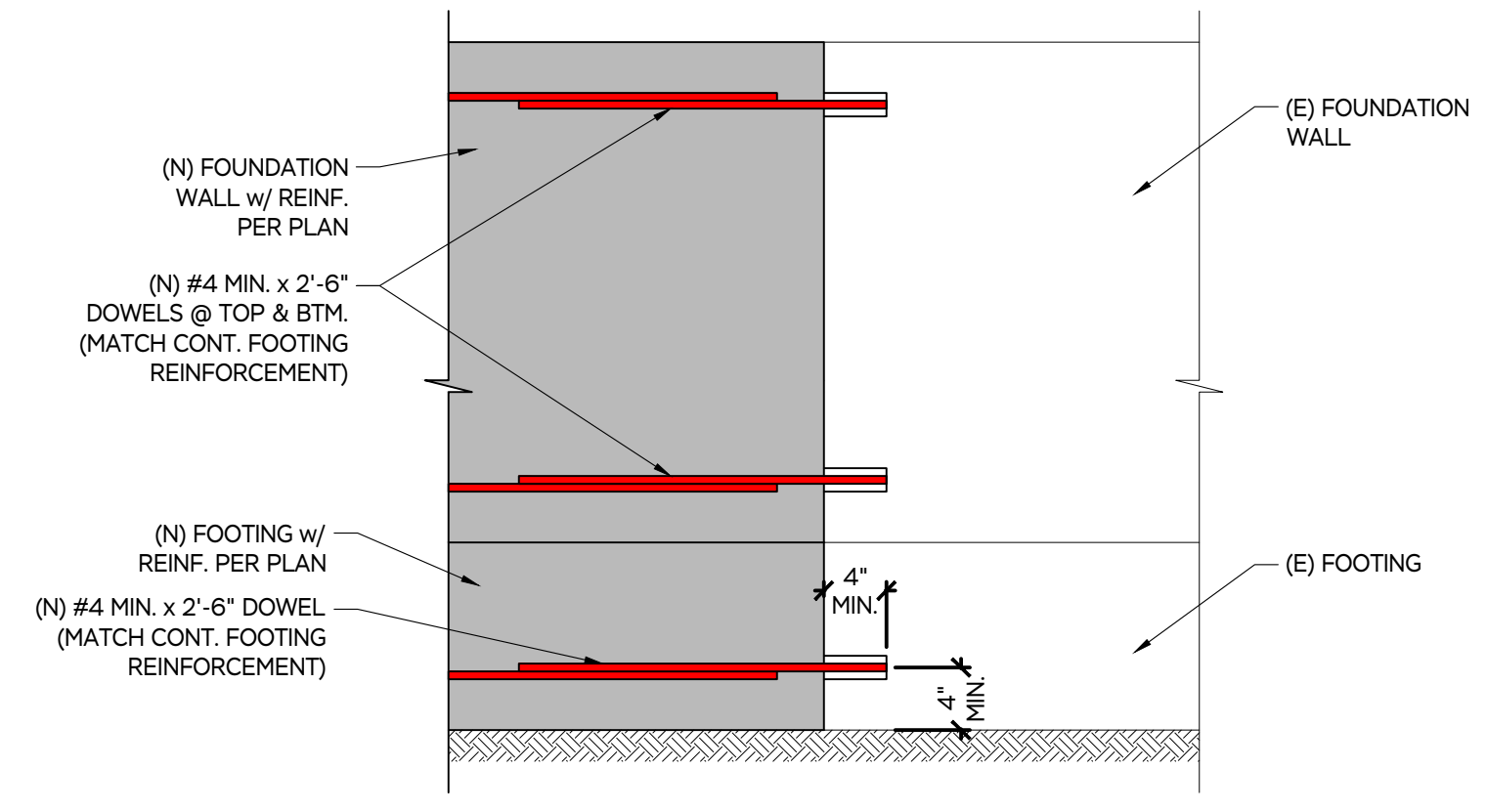


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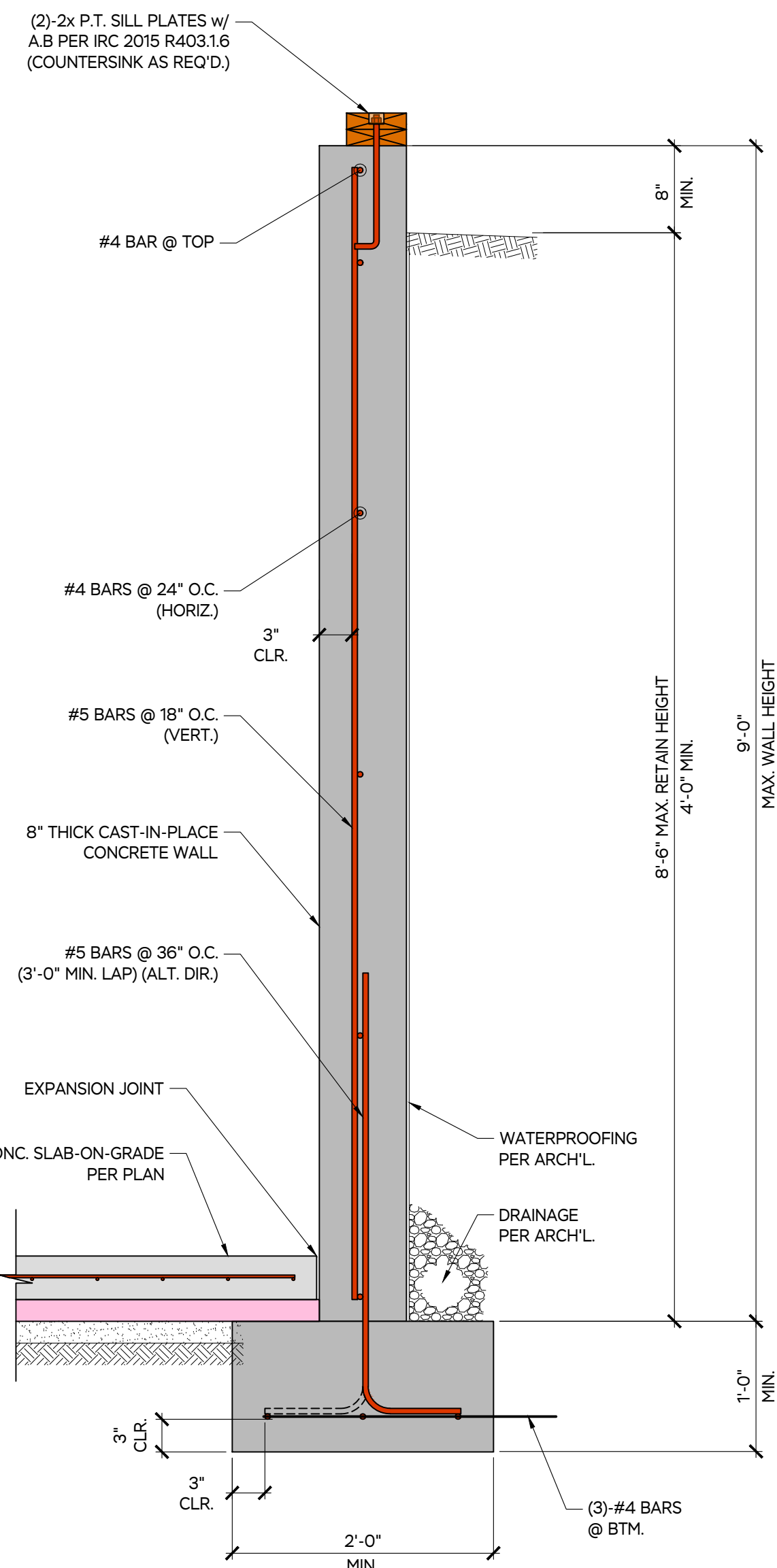


7 NEW TO EXISTING FOUNDATION DETAIL NOT TO SCALE

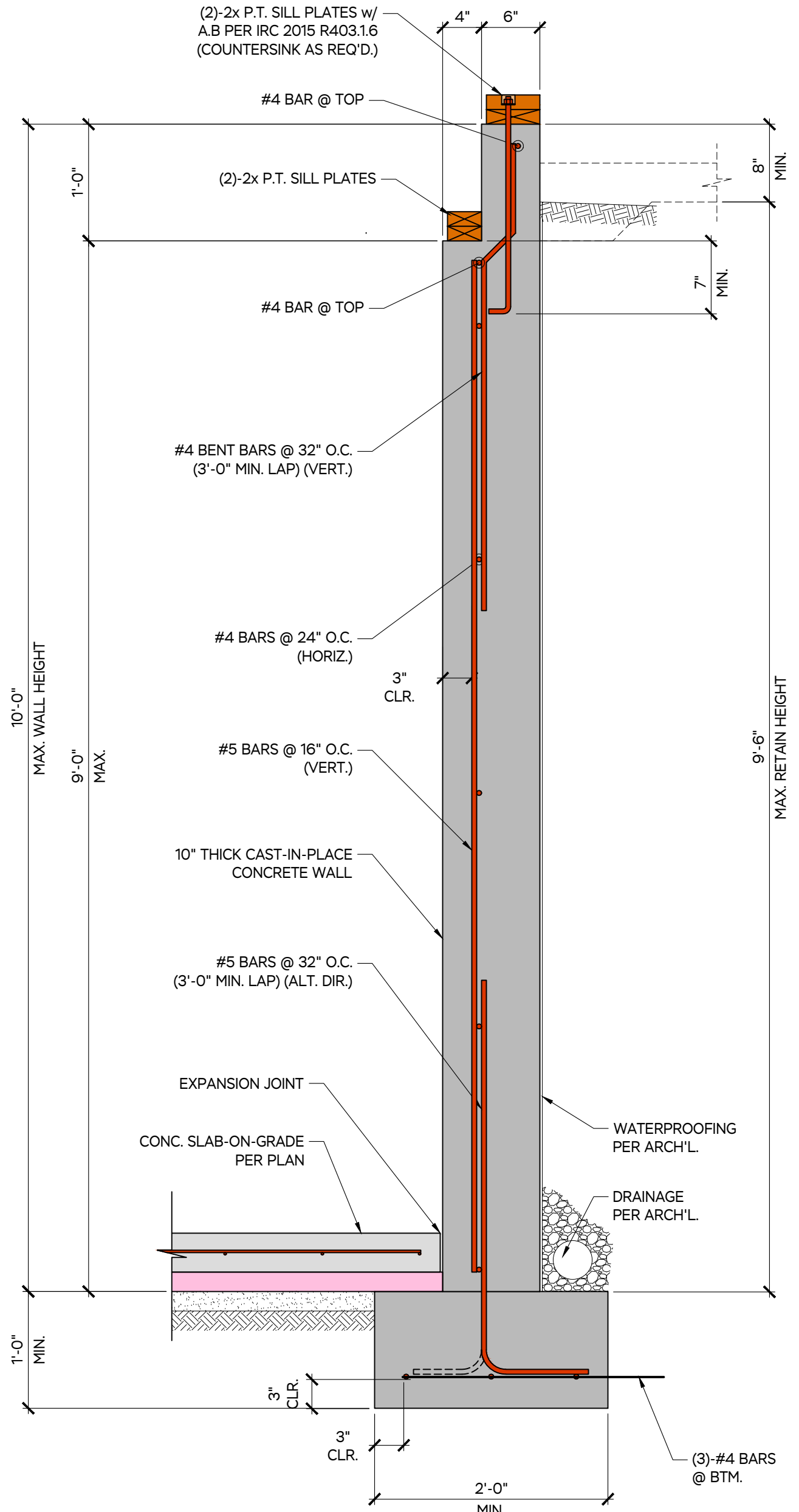
NOTE: USE "SET-XP" EPOXY FOR ALL EPOXIED REBAR



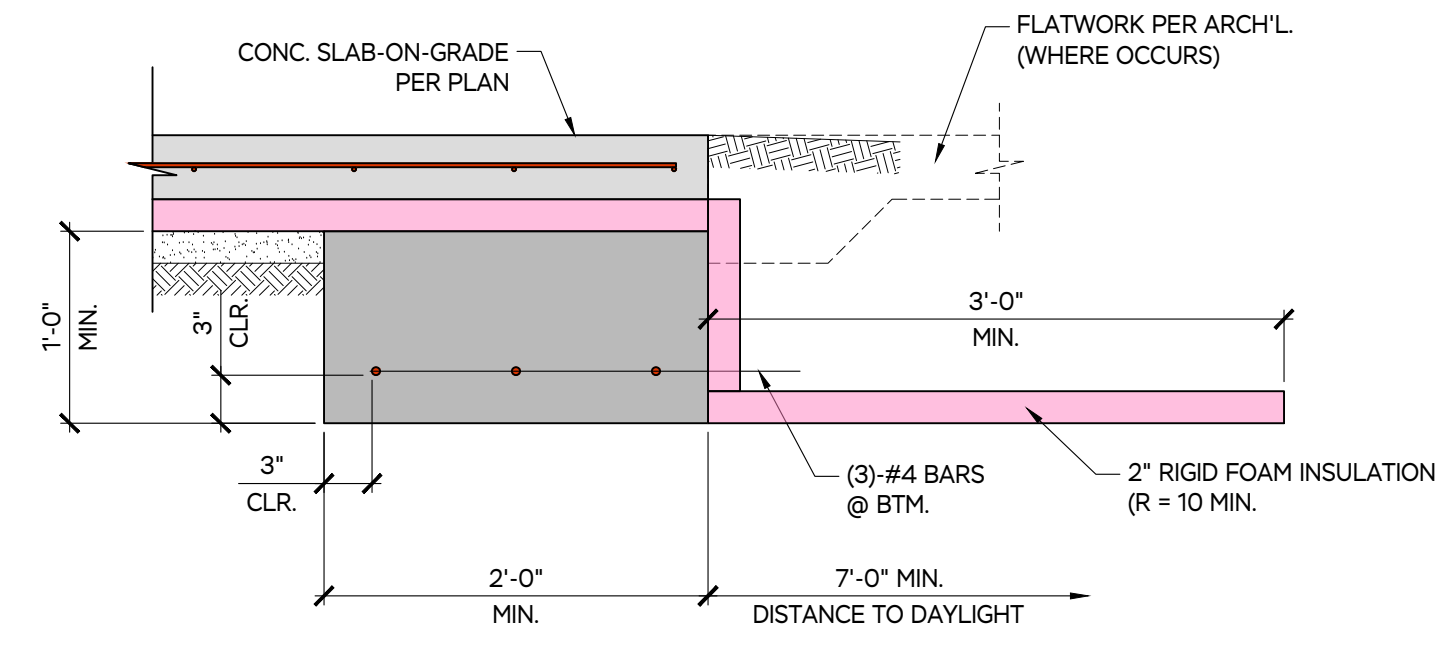
1 STEEL CONNECTION DETAIL NOT TO SCALE



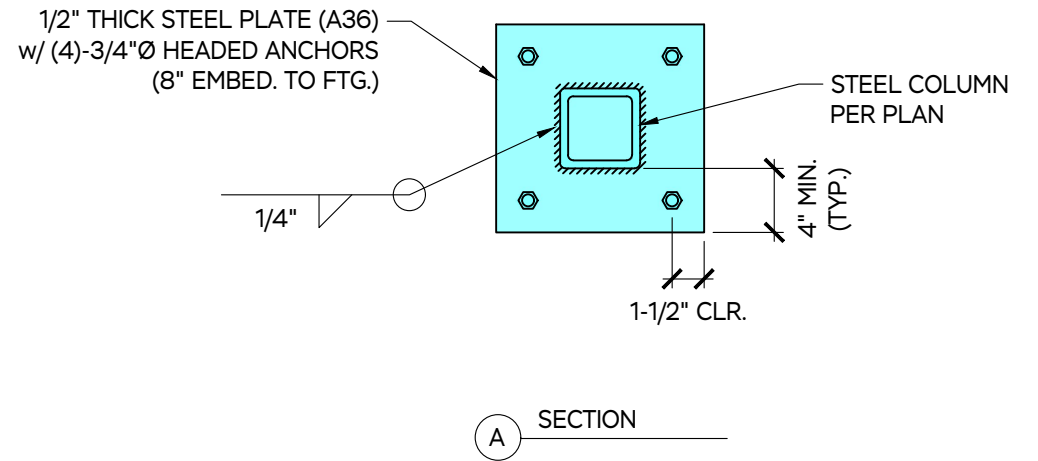
4 FOUNDATION DETAIL NOT TO SCALE



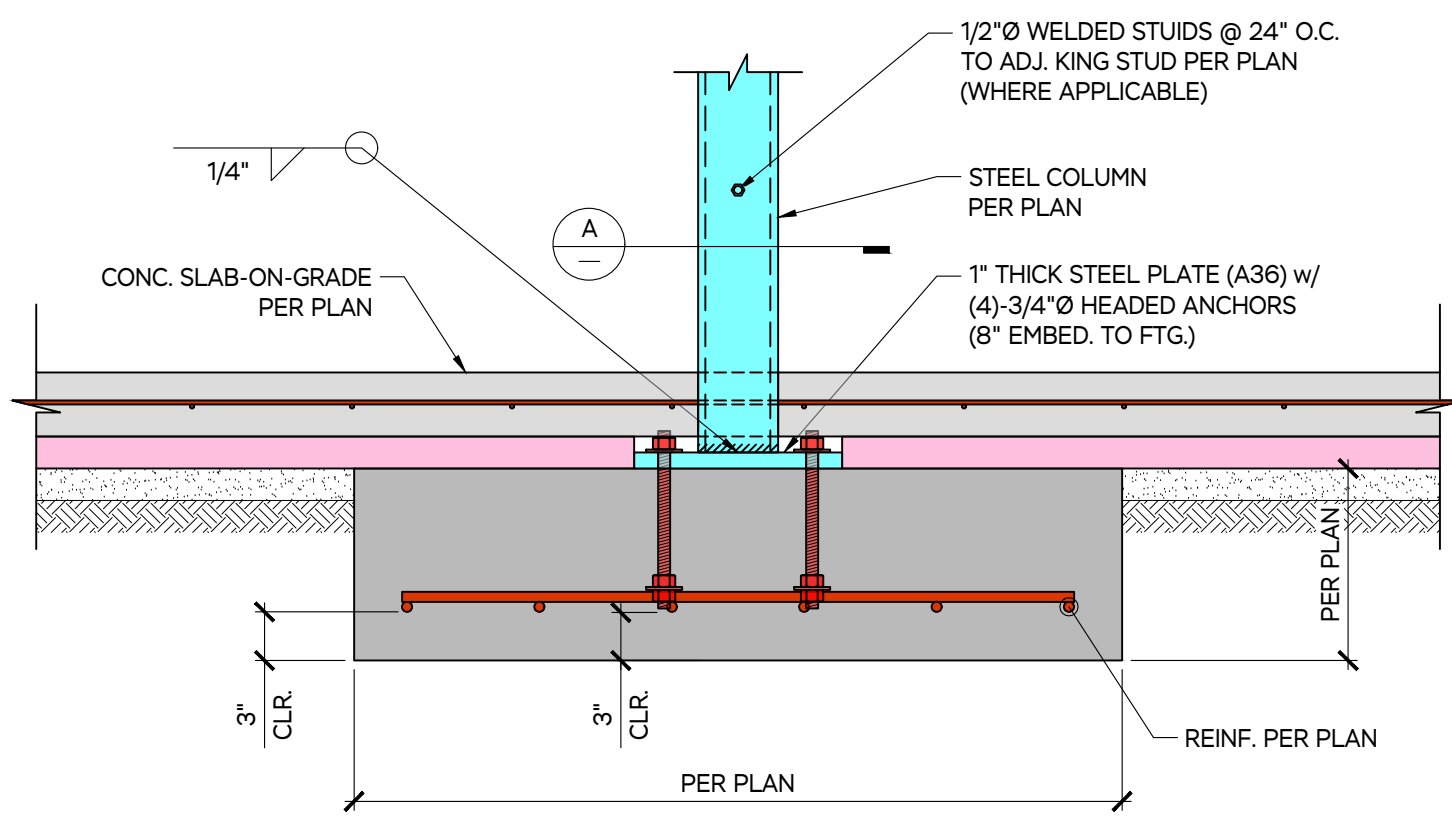
6 FOUNDATION DETAIL NOT TO SCALE



8 FOUNDATION DETAIL NOT TO SCALE

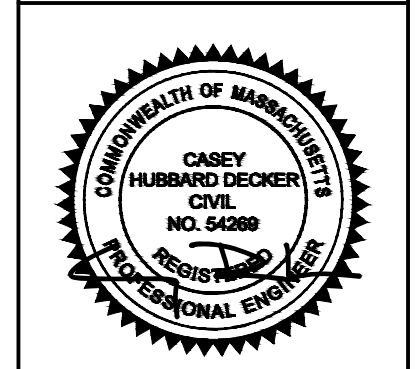


2 STEEL CONNECTION DETAIL NOT TO SCALE



| | | | |
|------------|------------|------------------|-----|
| ISSUED FOR | CHECK | CHD | CHD |
| | DRAWN | TLS | TLS |
| DATE | 11.26.22 | 12.7.22 | |
| ISSUED FOR | PERMIT SET | CONSTRUCTION SET | |

MARTHA'S VINEYARD
ENGINEERING & DESIGN
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
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SCALE: SEE PLANS

JOB NUMBER: 22068

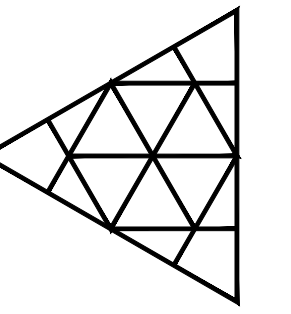
PROJECT: WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575

SHEET TITLE: STRUCTURAL DETAILS

DATE: 7 DEC 2022

S.07

WEBSTER POOL HOUSE



SOIL CLASSIFICATION NOTE

ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

EXPOSED FRAMING NOTE

ALL EXPOSED WOOD DECK FRAMING (i.e. JOISTS, BEAMS, POSTS, ETC.) TO BE PRESSURE TREATED. (U.N.O.)

DRAINAGE NOTE

ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDINGS EDGE

RECESSED LIGHTING NOTE

CONTRACTOR TO LAYOUT ALL ROOF RAFTERS, CEILING, FLOOR & DECK JOIST IN COORDINATION WITH RECESSED LIGHTING LAYOUT SHOWN IN ARCH'L DRAWINGS.

FLOOR / DECK NOTE

CONTRACTOR TO INSTALL FULL-DEPTH BRIDGING OR BLOCKING @ 1/3 SPANS FOR ALL FLOOR/DECK JOIST WITH SPANS GREATER THAN 14'-0".

BASEMENT WALL NOTE

1. OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF SLAB
2. OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF FLOOR FRAMING.

LARGE DOORS / WINDOWS

CONTRACTOR TO ENSURE ALL FINISHES HAVE BEEN INSTALLED/LOADED PRIOR TO INSTALL OF DOORS/WINDOWS WITH OPENINGS LARGER THAN 12' 0" (ALL TRUE GLASS CORNERS) OR PROVIDE GLAZING INSTALLER ACCESS TO BOTH THE TOP AND BOTTOM OF SAID DOORS/WINDOWS AFTER FINISHES TO ALLOW FOR ANY REQUIRED ADJUSTMENTS.

CONCRETE SLAB-ON-GRADE

USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" W/M OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL. VAPOR BARRIER

EXTERIOR WALL SHEATHING

SHEATH ENTIRE EXTERIOR OF BUILDING. 1/2" MIN. STRUCTURAL 1" SHEATHING. (U.N.O.)
10d COMMON NAILS @ 4" O.C. END NAILING (E.N.)
10d COMMON NAILS @ 6" O.C. FIELD NAILING (F.N.)

ALL SHEATHING TO RUN CONT. w/ E.N. TO RIM JOISTS OR SILL PLATES (WHERE OCCURS) @ BTM. OF WALL & TO RIM JOISTS OR RAFTER/JOIST BLK'G. @ TOP OF WALL.

DECK SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

FLOOR SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

ROOF SHEATHING

19/32" APA-RATED SHEATHING, EXPOSURE 1, 24" MIN. SPAN RATING,
8d COMMON NAILS @ 6" O.C. B.N. & E.N.
8d COMMON NAILS @ 12" O.C. INT. FRAMING

STRUCTURAL LEGEND

- POST BELOW
- POST ABOVE
- TIMBER FRAMING
- ENGINEERED LUMBER
- CONCRETE
- PLYWOOD SHEATHING
- STRUCTURAL STEEL
- REBAR
- STEEL SHEARWALLS & CONNECTORS

| | | | | | | | | | |
|------------|------------|--|--|--|--|--|--|--|--|
| CHECK | CHD | | | | | | | | |
| DRAWN | TLS | | | | | | | | |
| DATE | 12/12/22 | | | | | | | | |
| ISSUED FOR | PERMIT SET | | | | | | | | |

MARTHA'S VINEYARD
ENGINEERING & DESIGN

79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN

SCALE: SEE PLANS

JOB NUMBER: 22068

PROJECT: WEBSTER POOL HOUSE
2 SIMRAN RD,
WEST TISBURY, MA 02575

DATE: 12 DEC 2022

SHEET TITLE: STRUCTURAL NOTES & SCHEDULES

S.01

DESIGN CRITERIA

- BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE (MSBC) & THE INTERNATIONAL RESIDENTIAL CODE EDITION 2015 (IRC)
- LOADS:

| | | |
|----------|--------|-------------|
| | DEAD | LIVE / SNOW |
| a) ROOF | 15 PSF | 25 PSF |
| b) FLOOR | 15 PSF | 40 PSF |
| c) DECK | 10 PSF | 60 PSF |
- WIND LOADS:
 - BASIC WIND SPEED = 140 mph - EXPOSURE B AS PER MSBC
- METAL CONNECTOR CLIPS TO BE PROVIDED & INSTALLED AS PER THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) AS DESCRIBED IN R301.2.1.1 DESIGN CRITERIA
- MINIMUM DEFLECTIONS OF HORIZONTAL STRUCTURAL MEMBERS:
 - FLOOR MEMBERS L/360
 - ROOF MEMBERS L/240
- CONCRETE MINIMUM 28-DAY COMPRESSIVE STRENGTH, f'c
 - FOOTINGS 3,000 psi
 - FOUNDATIONS WALLS 3,000 psi
 - SLAB ON GRADE 3,000 psi
 - HONEY-COMBING, SPALLS, CRACKS, ETC. SHALL BE REPORTED TO THE STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF SYSTEMS NOT SHOWN IN STRUCTURAL PLANS.
- MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODES
- FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DOCUMENTS, REFER TO ARCHITECTURAL DOCUMENTS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. TEMPORARY SHORING & SUPPORT MAY BE REQUIRED DURING INTERMEDIATE STAGES OF CONSTRUCTION.

WIND DESIGN CRITERIA

- BUILDING CODE: SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC EDITION 2015 (SDPWS)
- FRAMING REQUIREMENTS: ALL FRAMING MEMBERS AND BLOCKING USED FOR SHEAR WALL CONSTRUCTION SHALL BE 2" NOMINAL OR GREATER.
- SHEATHING REQUIREMENTS:
 - SHEATHING SHALL BE ATTACHED USING NAILS OR OTHER APPROVED FASTENERS. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH TO THE SURFACE OF THE SHEATHING.
 - PANELS SHALL NOT BE LESS THAN 4' x 8' EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING.
 - NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE

GLOSSARY

| | |
|---------------------------------------------|------------------------------------------|
| ALT - ALTERNATING | MAX - MAXIMUM |
| ARCH - ARCH'L - ARCHITECT / ARCHITECTURAL | MIN - MINIMUM |
| B/ - BOTTOM | MSBC - MASSACHUSETTS STATE BUILDING CODE |
| B/W - BOTH WAYS | MSL - MEAN SEA LEVEL |
| B.N. - BOUNDARY NAILING | (N) - NEW |
| BLK'G - BLOCKING | OC - ON CENTER |
| BM - BEAM | PCF - POUNDS PER CUBIC FOOT |
| BP - BASE PLATE | PL - PLATE |
| C.J. - CEILING JOIST | PLF - POUNDS PER LINEAR FOOT |
| CL - CENTER LINE | PLY - PLYWOOD |
| COL - COLUMN | PORT - PORTLAND CEMENT |
| CONN - CONNECT | PSF - POUNDS PER SQUARE FOOT |
| D.J. - DECK JOIST | PSI - POUNDS PER SQUARE INCH |
| DEV - DEVELOPMENT | PSL - PARALLEL STRAND LUMBER |
| DIA - Ø - DIAMETER | PT - PRESSURE TREATED |
| DIR - DIRECTION | REINF - REINFORCED / REINFORCEMENT |
| DN - DOWN | RET - RETAINING |
| EA - EACH | REQ'D - REQUIRED |
| ECT - ETCETERA | RO - ROUGH OPENING |
| ELEV - ELEVATION | R.R. - ROOF RAFTER |
| EMBED - EMBEDDED | SF - SUBFLOOR |
| E.N. - END NAILING | STAGG - STAGGERED |
| ENG - ENGINEER | STR - STRUCTURAL |
| EQ - EQUALLY | T/ - TOP |
| EXIST - (E) - EXISTING | T/B - TOP AND BOTTOM |
| EXT - EXTERIOR | T&G - TONGUE AND GROVE |
| F.J. - FLOOR JOIST | TBD - TO BE DETERMINED |
| F.N. - FIELD NAILING | TBR - TO BE REMOVED |
| FF - FINISH FLOOR | TJI - ENGINEERED I-JOIST |
| FG - FINISH GRADE | TP - TOP PLATE |
| FOUND - FOUNDATION | TYP - TYPICAL |
| GALV - GALVANIZED | VERT - VERTICAL |
| GLB - GLULAM BEAM | VIF - VERIFY IN FIELD |
| HDR - HEADER | w/ - WITH |
| HORIZ - HORIZONTAL | |
| IBC - INTERNATIONAL BUILDING CODE | |
| IEBC - INTERNATIONAL EXISTING BUILDING CODE | |
| INT - INTERIOR | |
| IRC - INTERNATIONAL RESIDENTIAL CODE | |
| KIP - K - 1000 POUNDS | |
| LB - POUND | |
| LSL - LAMINATED STRAND LUMBER | |

HOLDOWN SCHEDULE

| SYMBOL | HOLDOWN DEVICE | VALUE |
|--------|---------------------------------------------------------------------------------------|------------|
| A | (2)-2x STUD w/ *MSTC40* FLOOR-TO-FLOOR HOLDOWN | 2,655 LBS |
| B | (2)-2x STUD w/ *MSTC52* FLOOR-TO-FLOOR HOLDOWN | 3,985 LBS |
| C | (2)-2x STUD w/ *MSTC66* FLOOR-TO-FLOOR HOLDOWN | 5,850 LBS |
| D | (2)-2x STUD w/ *MSTC48B3* FLOOR-TO-FLOOR HOLDOWN | 3,900 LBS |
| E | (2)-2x STUD w/ *MSTC66B3* FLOOR-TO-FLOOR HOLDOWN | 4,490 LBS |
| F | (2)-2x STUD w/ *HDU2* HOLD-DOWN w/ *SB5/8x24" (5/8"Ø A.B.) OR *LSTD8" / *LSTD8RJ" | 2,215 LBS |
| G | (2)-2x STUD w/ *HDU4* HOLD-DOWN w/ *SB5/8x24" (5/8"Ø A.B.) OR *STD10" / *STD10RJ" | 3,285 LBS |
| H | (2)-2x STUD w/ *HDU5* HOLD-DOWN w/ *SB5/8x24" (5/8"Ø A.B.) OR *STD14" / *STD14RJ" | 4,340 LBS |
| J | (2)-2x STUD w/ *HDU8* HOLD-DOWN w/ *SB7/8x24" (7/8"Ø A.B.) | 6,580 LBS |
| K | (2)-2x STUD w/ *HDU11* HOLD-DOWN w/ *SB1x30" (1"Ø A.B.) | 8,030 LBS |
| L | (2)-2x STUD w/ *HDU14* HOLD-DOWN w/ *SB1x30" (1"Ø A.B.) | 12,425 LBS |
| M | 6x POST w/ *CMST12" FLOOR TO FLOOR HOLDOWN (END LENGTH NAILING TO POST, L=3'-3" MIN.) | 9,215 LBS |

NOTES:

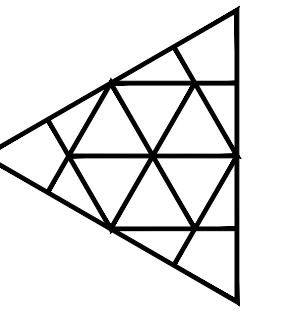
- DEEPEEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLDOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
- MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
- MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS. MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

| CONCRETE EXPOSURE | MEMBER | REINFORCEMENT | SPECIFIED COVER, IN. |
|-----------------------------------------------------|---------------------------------------------|------------------------------------------------------------|----------------------|
| CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND | ALL | ALL | 3 |
| EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | ALL | #6 THROUGH #18 REBAR #5 REBAR, W31D31 WIRE, AND SMALLER | 2 1-1/2 |
| NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | SLABS, JOISTS, AND WALLS | #14 AND #18 REBAR #11 REBAR AND SMALLER | 1-1/2 3/4 |
| | BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES | PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS | 1-1/2 |

SPREAD FOOTING SCHEDULE

| SYMBOL | DIMENSIONS & REINFORCEMENTS |
|--------|--------------------------------------------------------------|
| F-1 | 2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY |
| F-2 | 2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY |
| F-3 | 3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY |
| F-4 | 3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY |
| F-5 | 4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY |



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| CHECK | CHD |
| DRAWN | TLS |
| DATE | 12/12/22 |
| ISSUED FOR | PERMIT SET |

**MARTHA'S VINEYARD
ENGINEERING & DESIGN**
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN

SCALE:
SEE PLANS

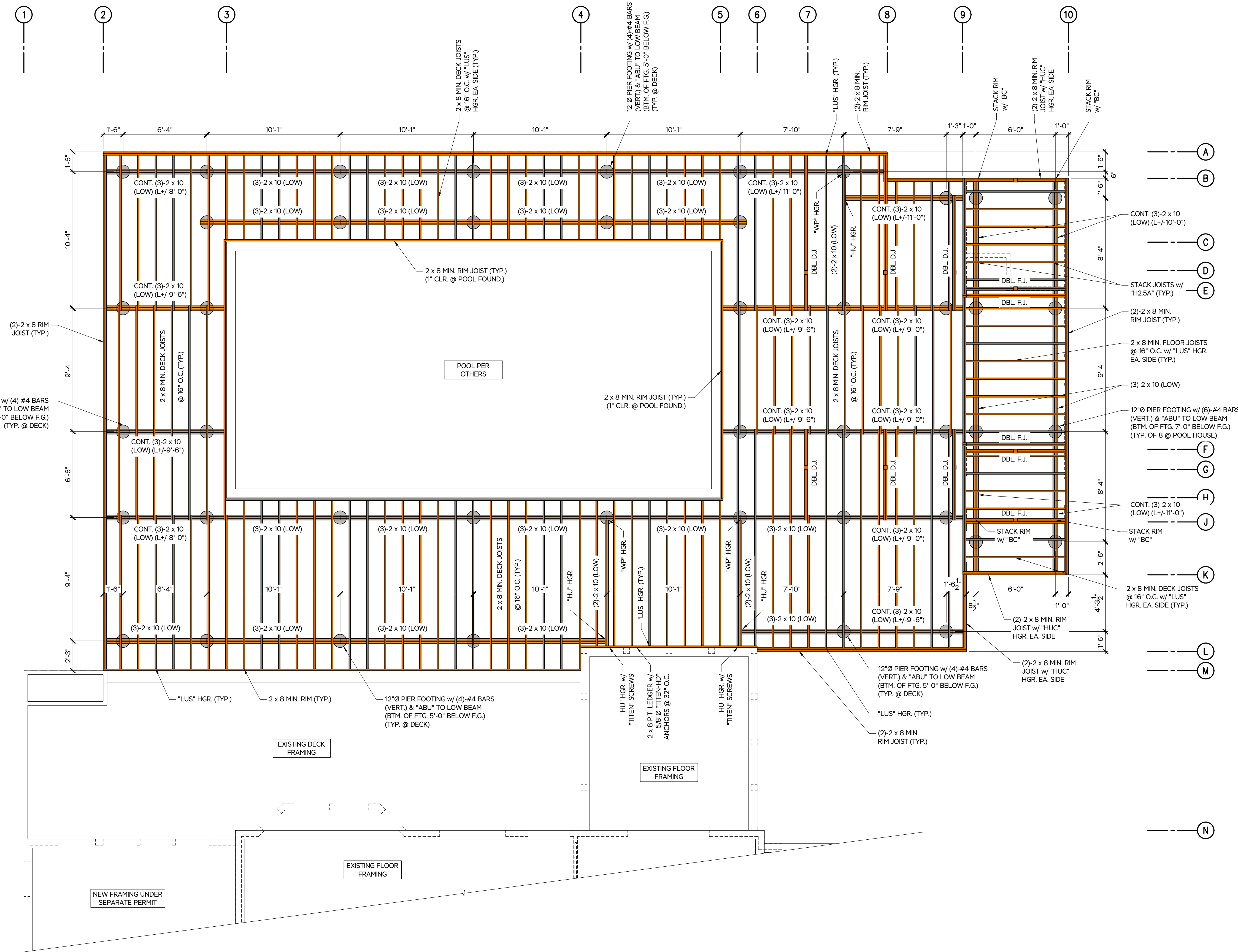
JOB NUMBER:
22068

PROJECT:
**WEBSTER POOL HOUSE
2 SIMRAN RD,
WEST TISBURY, MA 02575**

SHEET TITLE:
**1st FLOOR / DECK FRAMING
& FOUNDATION PLAN**

DATE:
12 DEC 2022

S.02



SOIL CLASSIFICATION NOTE
ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

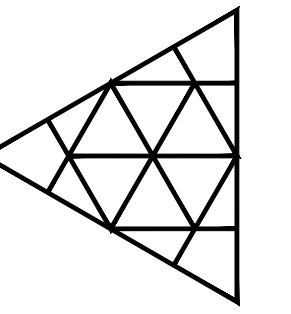
| CONCRETE EXPOSURE | MEMBER | REINFORCEMENT | SPECIFIED COVER, IN. |
|-----------------------------------------------------|---------------------------------------------|-----------------------------------------------------------|----------------------|
| CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND | ALL | ALL | 3 |
| EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | ALL | #6 THROUGH #18 REBAR | 2 |
| | | #5 REBAR, W31D31 WIRE, AND SMALLER | 1-1/2 |
| NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | SLABS, JOISTS, AND WALLS | #14 AND #18 REBAR | 1-1/2 |
| | | #11 REBAR AND SMALLER | 3/4 |
| NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND | BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES | PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS | 1-1/2 |

STRUCTURAL LEGEND

| | |
|--|-------------------------------|
| | POST BELOW |
| | POST ABOVE |
| | TIMBER FRAMING |
| | ENGINEERED LUMBER |
| | CONCRETE |
| | PLYWOOD SHEATHING |
| | STRUCTURAL STEEL |
| | REBAR |
| | STEEL SHEARWALLS & CONNECTORS |

1ST FLOOR / DECK FRAMING & FOUNDATION PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE SOT FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"



| ISSUED FOR | DATE | DRAWN | CHECK |
|------------|----------|-------|-------|
| PERMIT SET | 12/12/22 | TL5 | CHD |
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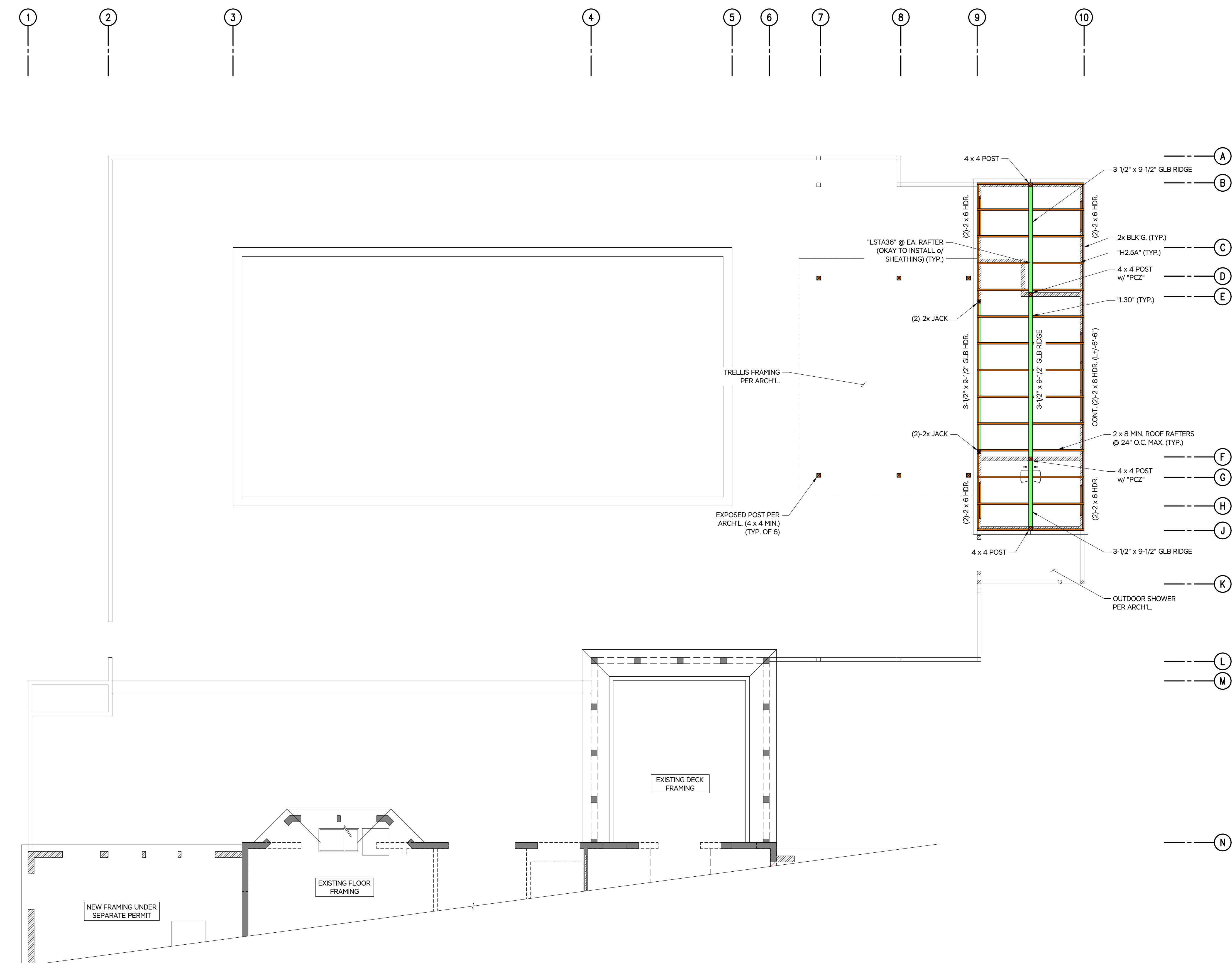
SCALE:
SEE PLANS

JOB NUMBER:
22068

PROJECT: **WEBSTER POOL HOUSE
2 SIMRAN RD,
WEST TISBURY, MA 02575**
SHEET TITLE: **ROOF FRAMING PLAN**

DATE:
12 DEC 2022

S.03



| STRUCTURAL LEGEND | |
|-------------------|-------------------------------|
| | POST BELOW |
| | POST ABOVE |
| | TIMBER FRAMING |
| | ENGINEERED LUMBER |
| | CONCRETE |
| | PLYWOOD SHEATHING |
| | STRUCTURAL STEEL |
| | REBAR |
| | STEEL SHEARWALLS & CONNECTORS |

ROOF FRAMING PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S.01 FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"