

Webster Residence

Renovations and Additions

2 Simran Road
West Tisbury, MA 02575
Map 2, Lot 8: 3.08 acres
Map 55A, Lot 1.2: 0.27 acres

Owner

Candice Webster
Webster.candy321@gmail.com
(508) 627-0888

Contractor

Tom O'Brien, O'Briens Fine Home Builders, Inc
Obriensfine1@comcast.net
(508) 400-3521

Architectural Plans

Jenny Young and Donald Corner, Architects
jyoung@uoregon.edu
(541) 510-2111

Structural Plans

Casey Decker, PE
Martha's Vineyard Engineering & Design
P.O. Box 919, 79 Beach Road, Vineyard Haven, MA 02568
(774) 563-8535

Survey and Pool Design

Vineyard Land and Survey & Engineering
P.O. Box 421, West Tisbury, MA 02575
P 508-693-3774
VLSE.net

HERS Rating

Ken Bailey, Certified Energy Rater
(508) 525-5253

Table of Contents

Overview of Existing House and Proposed Renovations and Additions

Overview of Plans: First Floor

Overview of Plans: Second Floor

Existing (Main) House: First Floor

Existing (Main) House: Second Floor

Architectural Drawings of Renovations and Additions to the Main House

- 1 Site Plan
- 2 Basement Plan
- 3 Existing First Floor with Living Extensions
- 4 Existing Second Floor with Renovations
- 5 First Floor Primary Bedroom
- 6 First Floor North (garage)Wing
- 7 Second Floor North (garage) Wing
- 8 East-West Section at Main House
- 9 East-West Sections at North (garage) Wing
- 10 North Elevation
- 11 West Elevation at Main House
- 12 South Elevation
- 13 East Elevation at Main House
- 14 East Elevation at North (garage) Wing
- 15 West Elevation at North (garage) Wing

Pool House Plans

- 16 Pool Deck and Pool House
- 17 Pool House Section and Elevations

Electrical Plans

- E1 Electrical First Floor Main House
- E2 Electrical Second Floor Main House
- E3 Electrical First Floor Primary Bedroom
- E4 Electrical First Floor Garage
- E5 Electrical Second Floor North Wing (Bedrooms and Link)
- E6 Electrical Floor Plan Basement (North Wing)

Window and Door Schedules

Survey

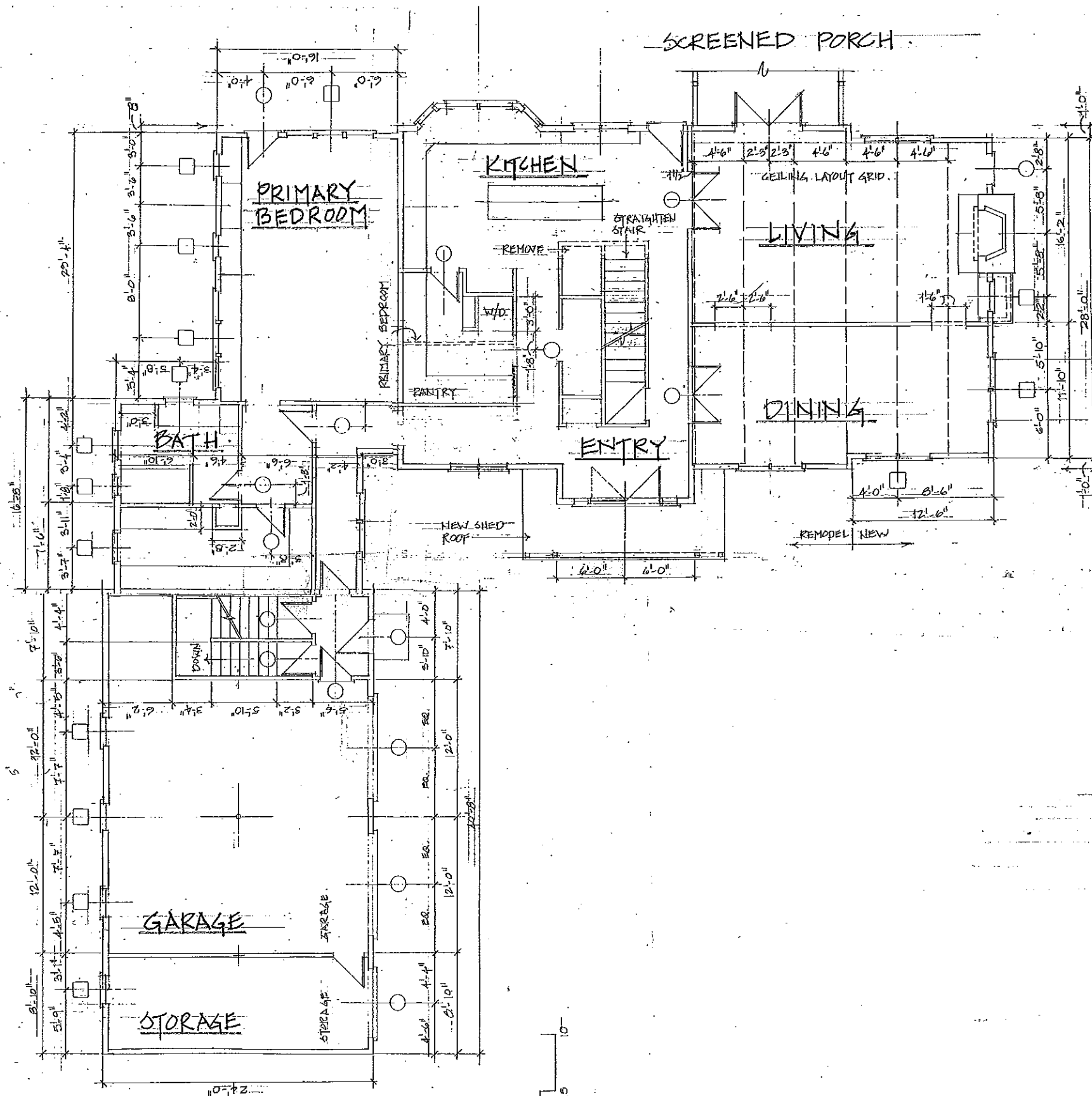
Vineyard Land Survey and Engineering, October 31, 2022

Preliminary HERS Rating

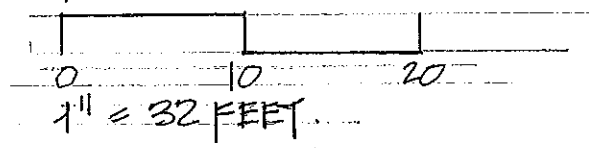
Ken Bailey, Certified Energy Rater

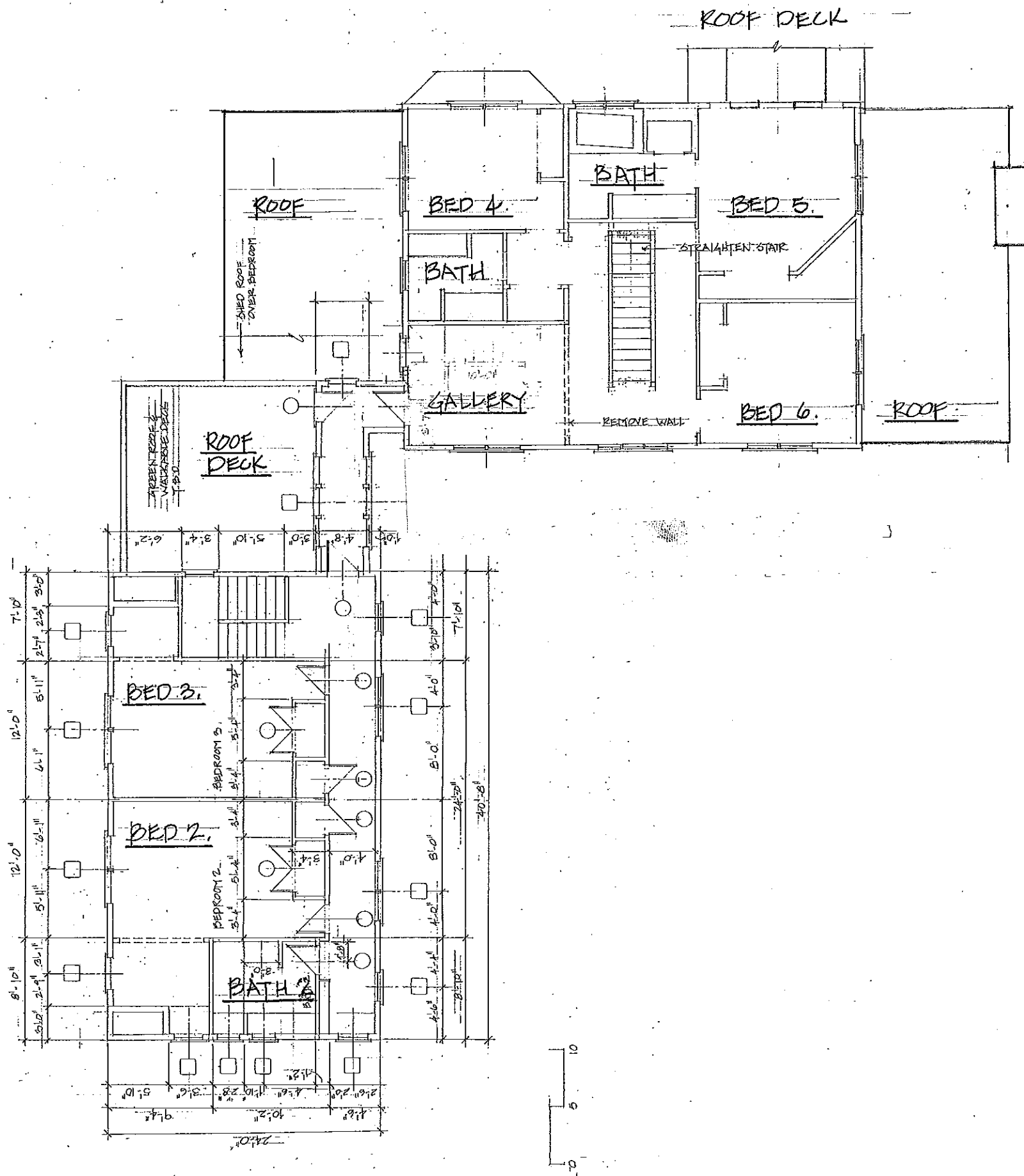
Structural Plans (Martha's Vineyard Engineering & Design)

- S1-7 Structural Drawings for Renovations and Additions to the Main House
- S1-2 Structural Drawings for the Pool Deck and Pool House

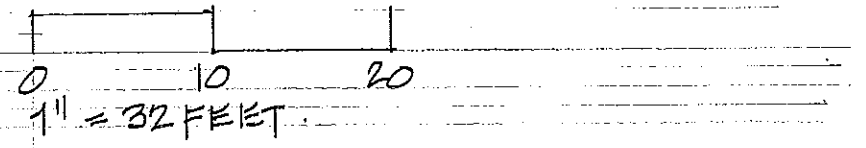


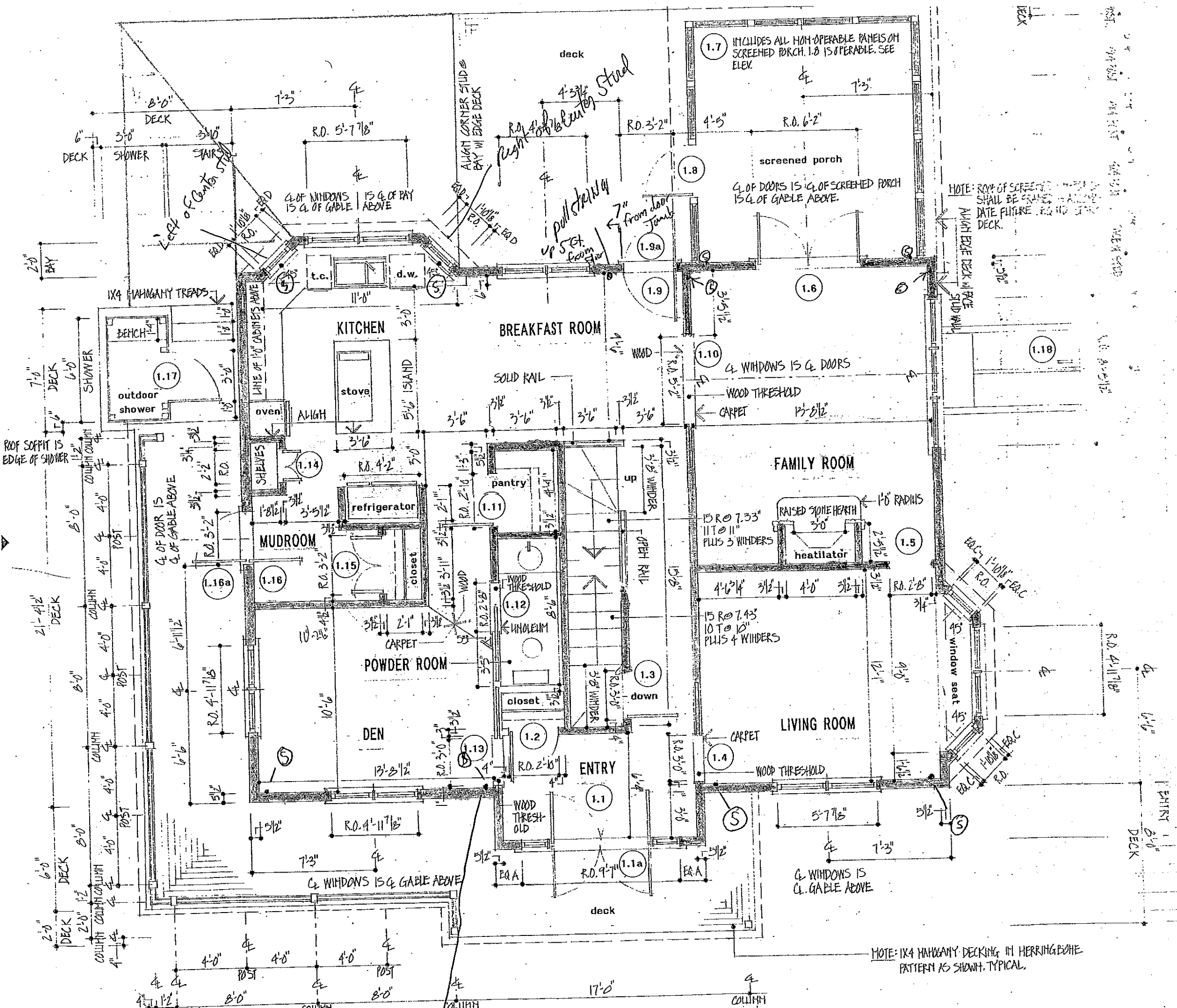
WEBSTER RESIDENCE
 SIMRAN ROAD
 WEST TISBURY
 PROPOSED ADDITIONS
 FIRST FLOOR



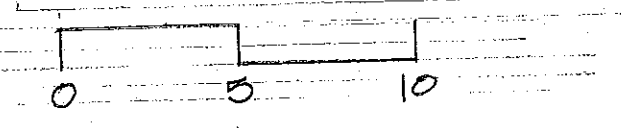


WEBSTER RESIDENCE
 SIMRAN ROAD
 WEST TISBURY
 PROPOSED ADDITIONS
 SECOND FLOOR





WEBSTER RESIDENCE
 SIMRAH ROAD
 WEST TISBURY
 EXISTING FIRST FLOOR
 SCALE: 3/16" = 1'-0"



NOTE: 1x4 HAWKANY DECKING IN HERRINGBONE PATTERN AS SHOWN, TYPICAL.

NOTE: ROW OF SCREENED PORCH SHALL BE CRANED IN DATE FUTURE FOR NO STAIR DECK.

ROOF SOFFIT IS EDGE OF SHOWER

1x4 HAWKANY TREADS

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

DECK

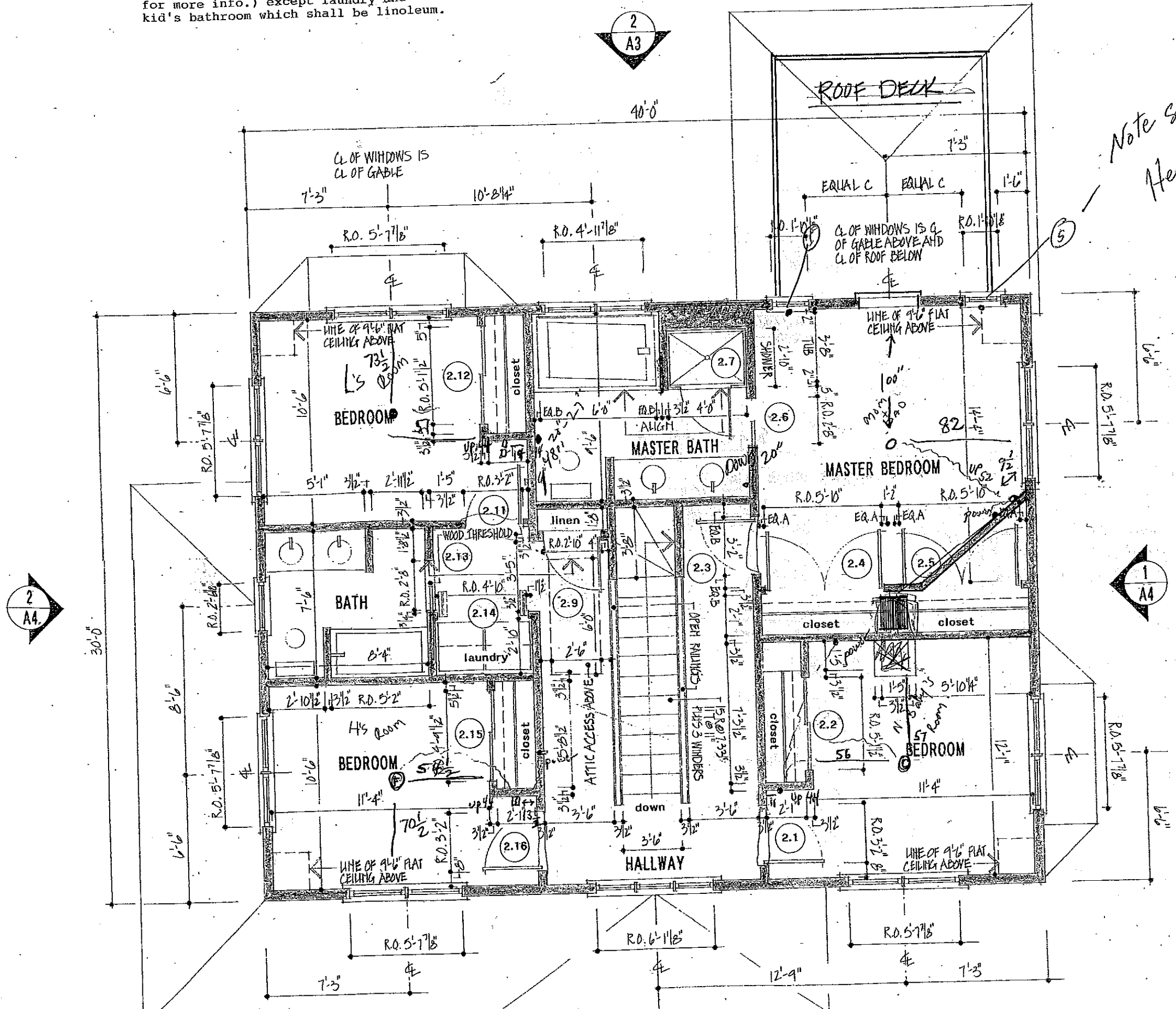
DECK

DECK

DECK

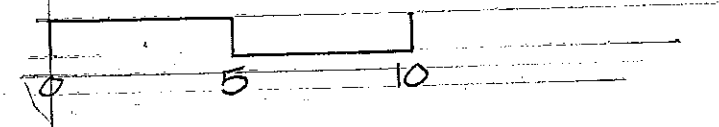
DECK

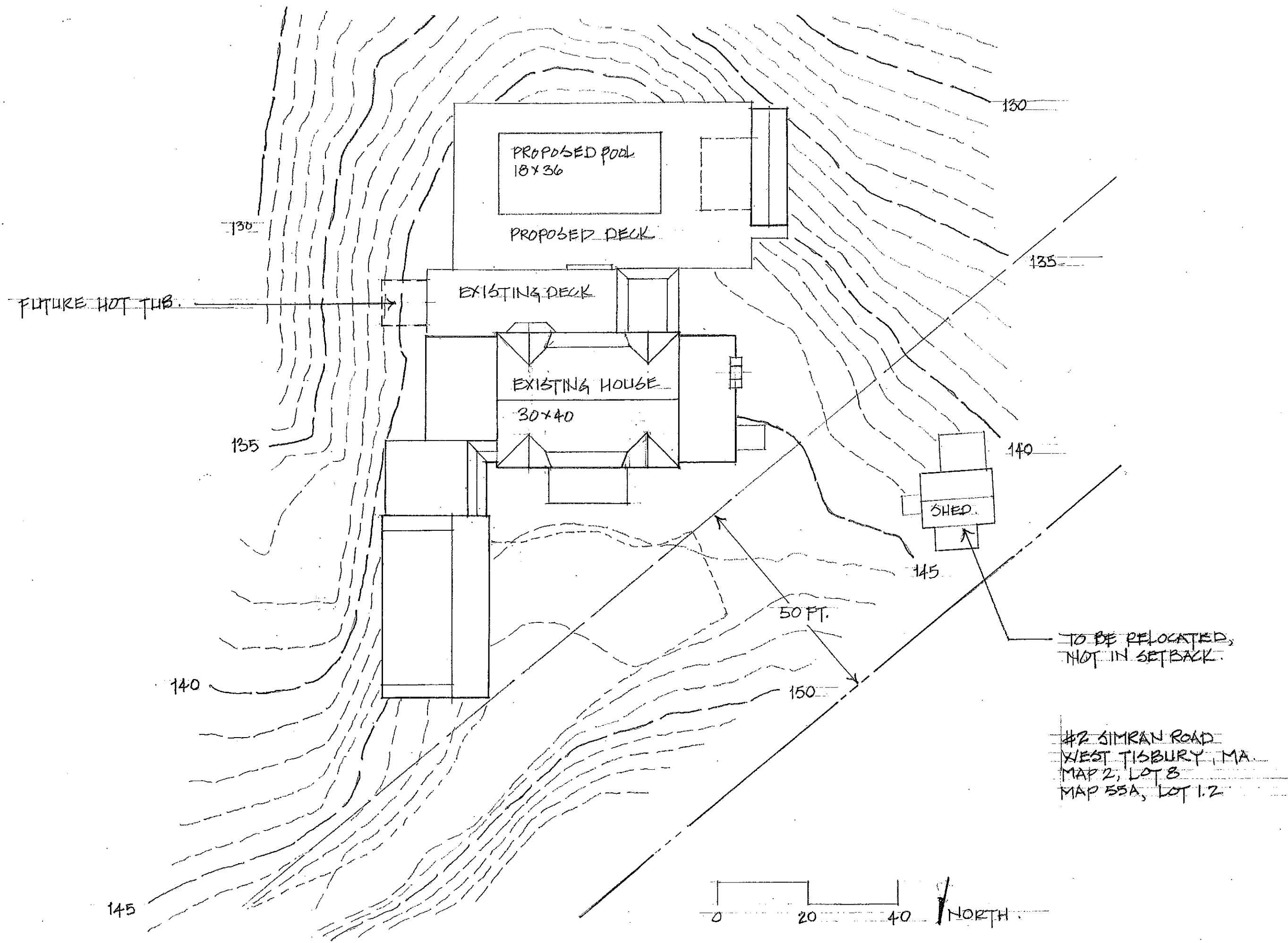
- be 42" A.F.F.; each with an 18" wide shelf.
- 4. Laundry shall have one 18" wide shelf A.F.F.
- 5. Linen closet shall have 5. 16" wide adjustable shelves.
- 6. Northwest bedroom shall have 5. 16"x 24"-0" adjustable shelves.
- 7. All rooms shall be carpeted (see spec. for more info.) except laundry and kid's bathroom which shall be linoleum.



Note speaker wire centered Header Height

WEBSTER RESIDENCE
 SIMRAN ROAD
 WEST TISBURY
 EXISTING SECOND FLOOR
 SCALE: 3/16" = 1'-0"





145

140

135

130

130

135

140

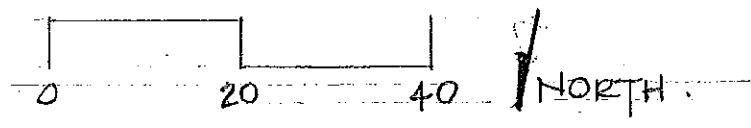
145

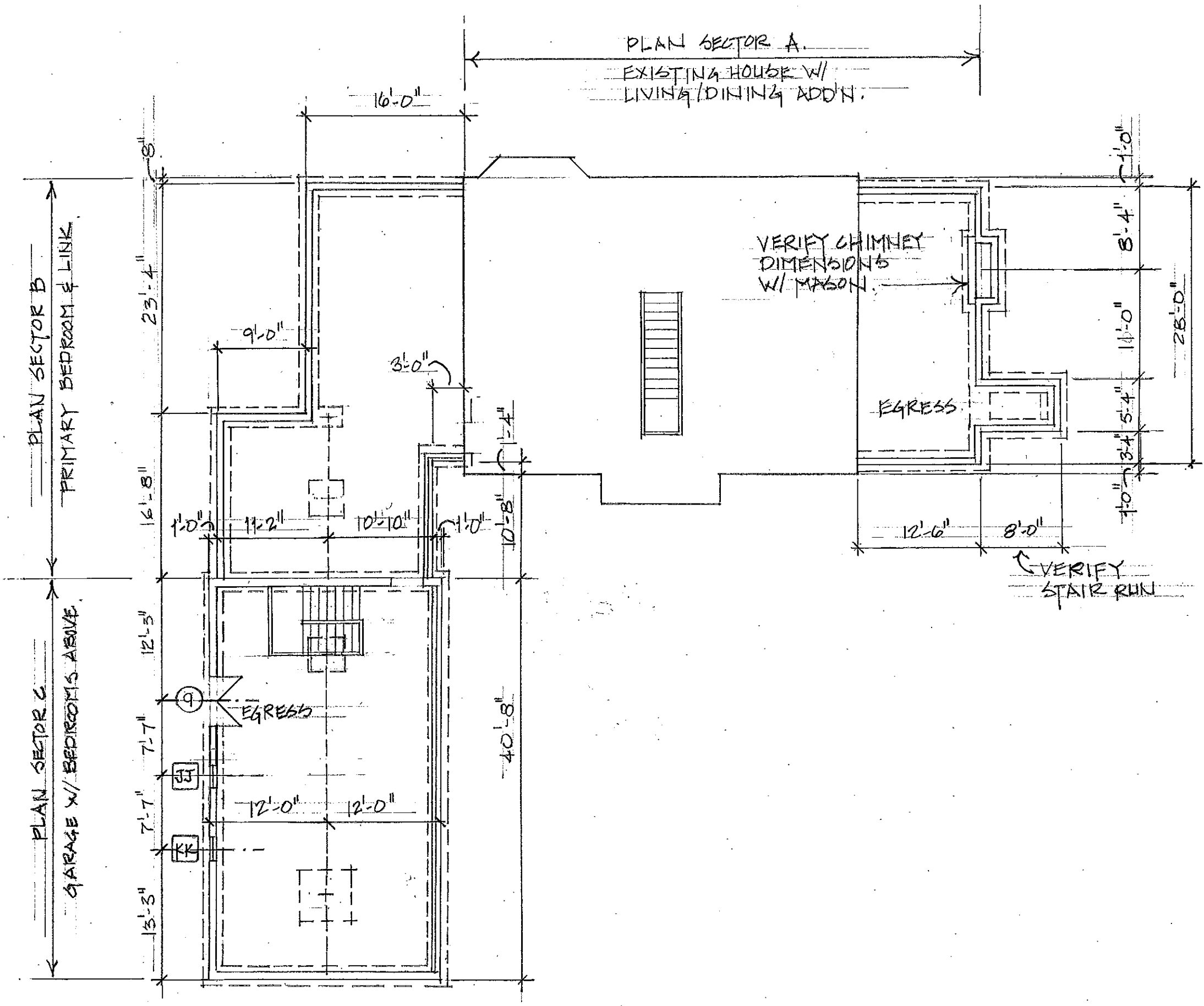
50 FT.

150

TO BE RELOCATED,
NOT IN SETBACK.

#2 SIMRAN ROAD
WEST TISBURY, MA
MAP 2, LOT 8
MAP 55A, LOT 1.2

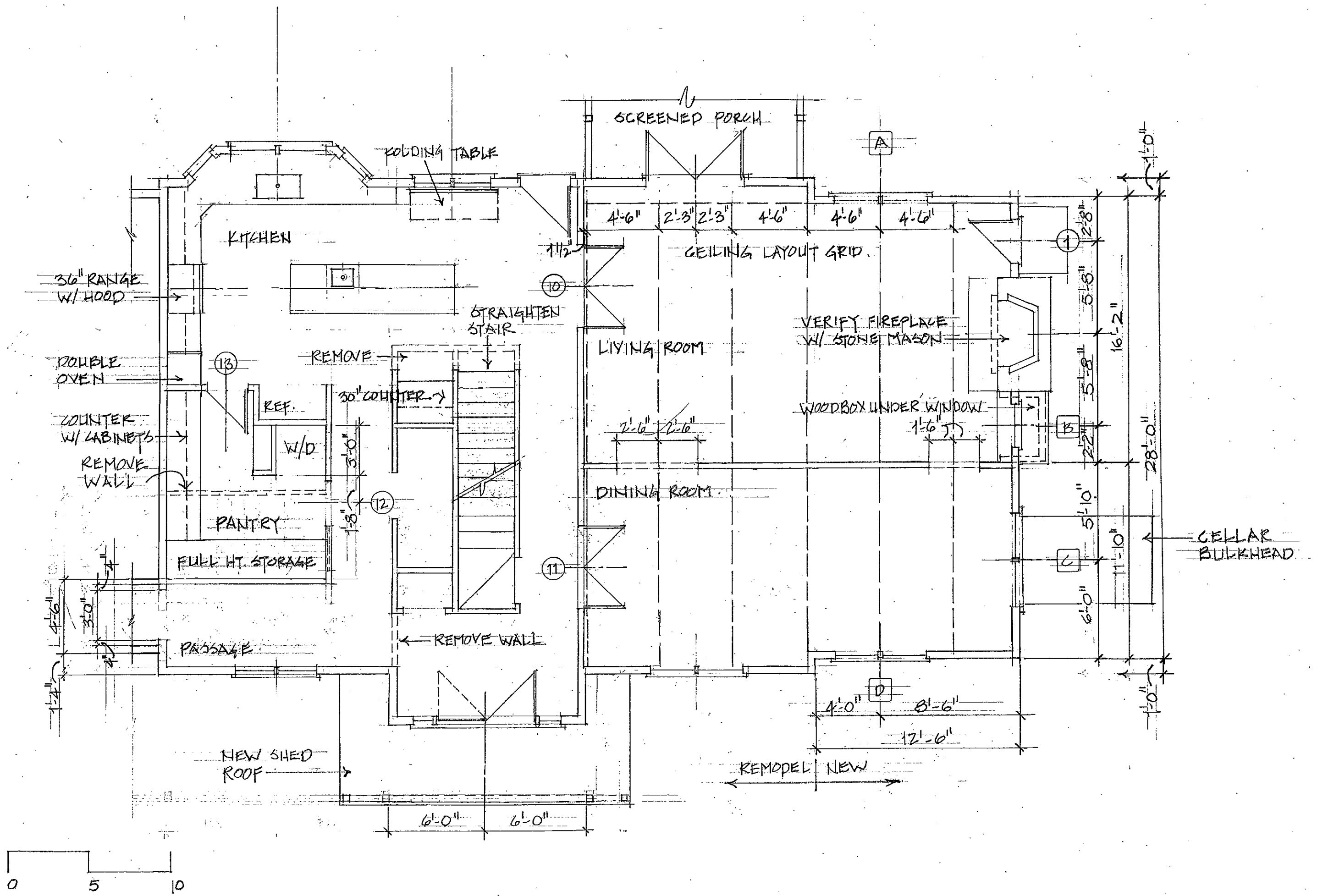




2 WEBSTER RESIDENCE 3/32" = 1'-0"
BASEMENT PLAN

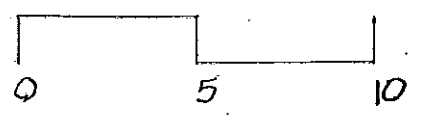
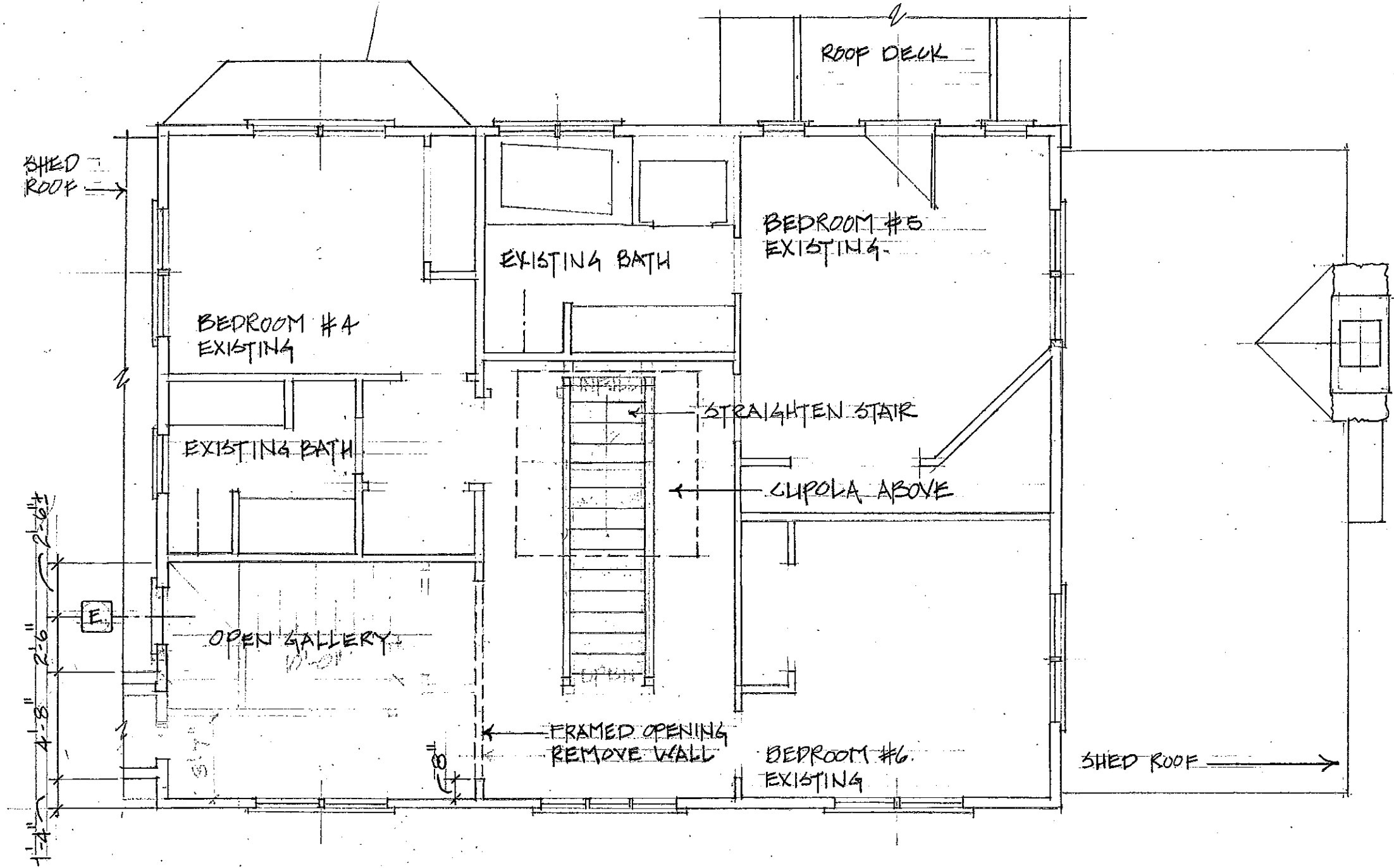
TENNY YOUNG & DONALD CORNER ARCHITECTS

12.10



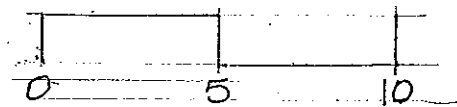
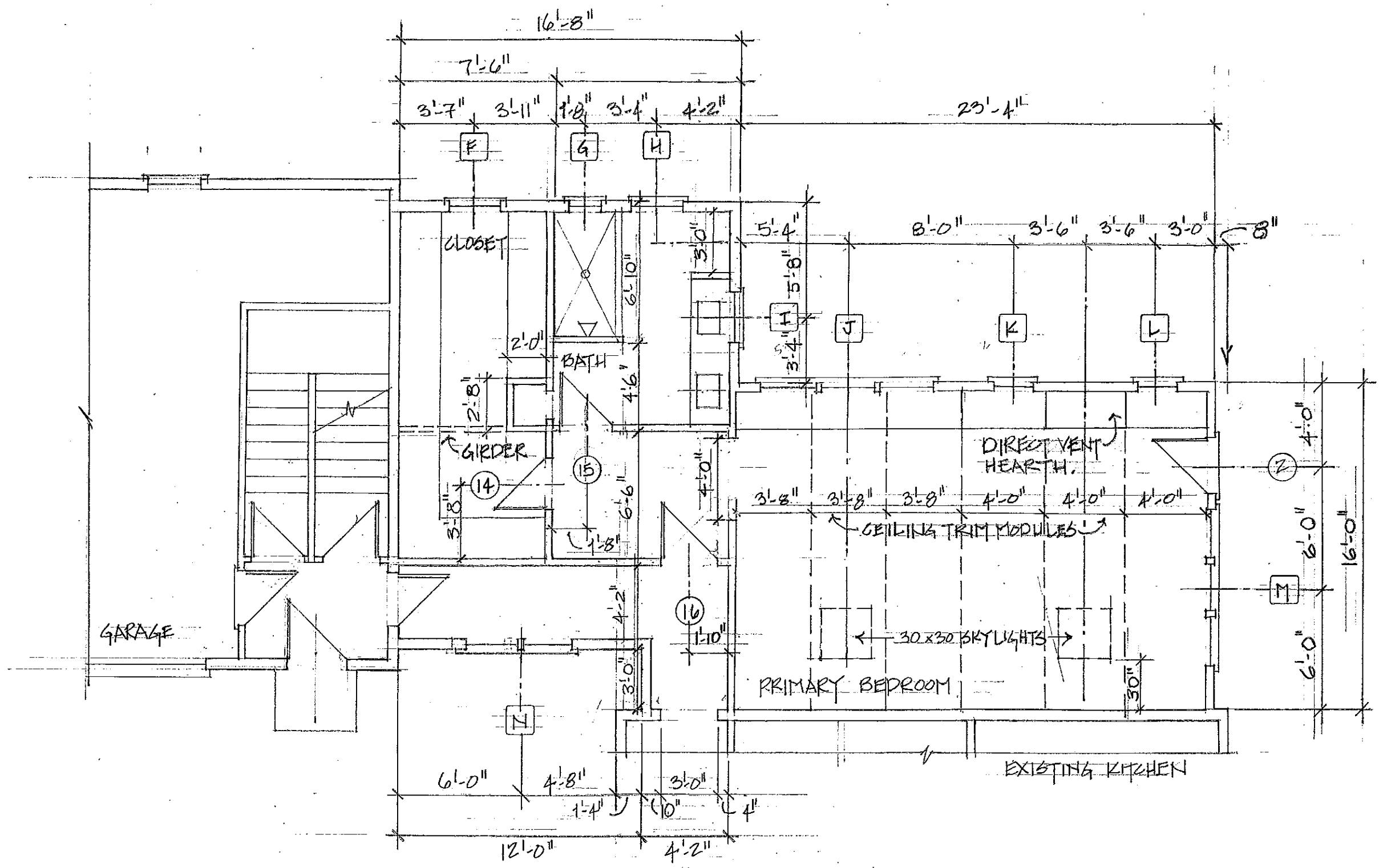
TENNY YOUNG & DONALD CORNER ARCHITECTS

WEBSTER RESIDENCE 3/16" = 1'-0" EXISTING FIRST FLOOR W/ LIVING EXTENSION



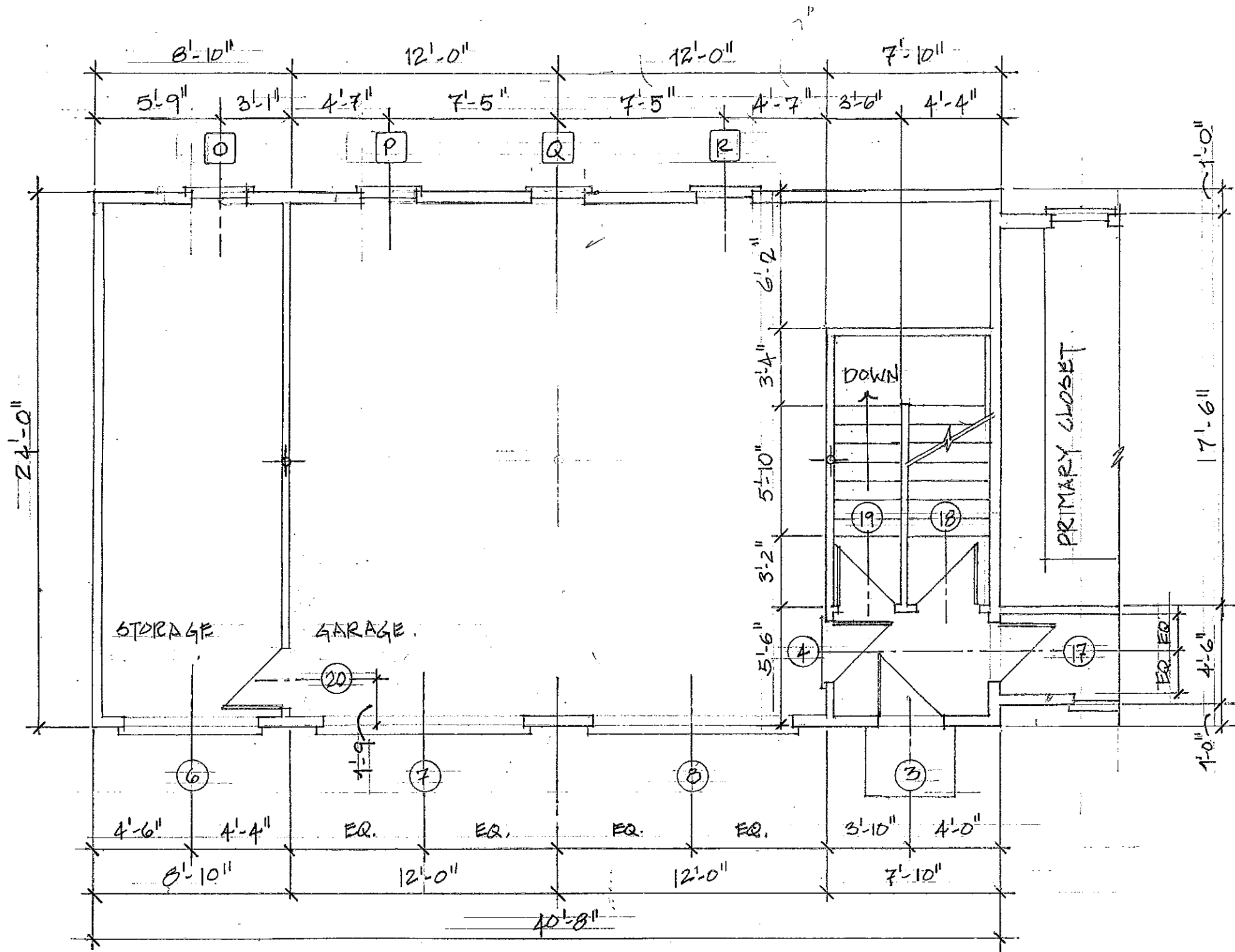
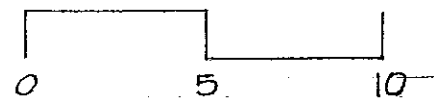
12.10

WEBSTER RESIDENCE 3/16/10
 EXISTING SECOND FLOOR
 JENNY YOUNG & DONALD CORNER ARCHITECTS.



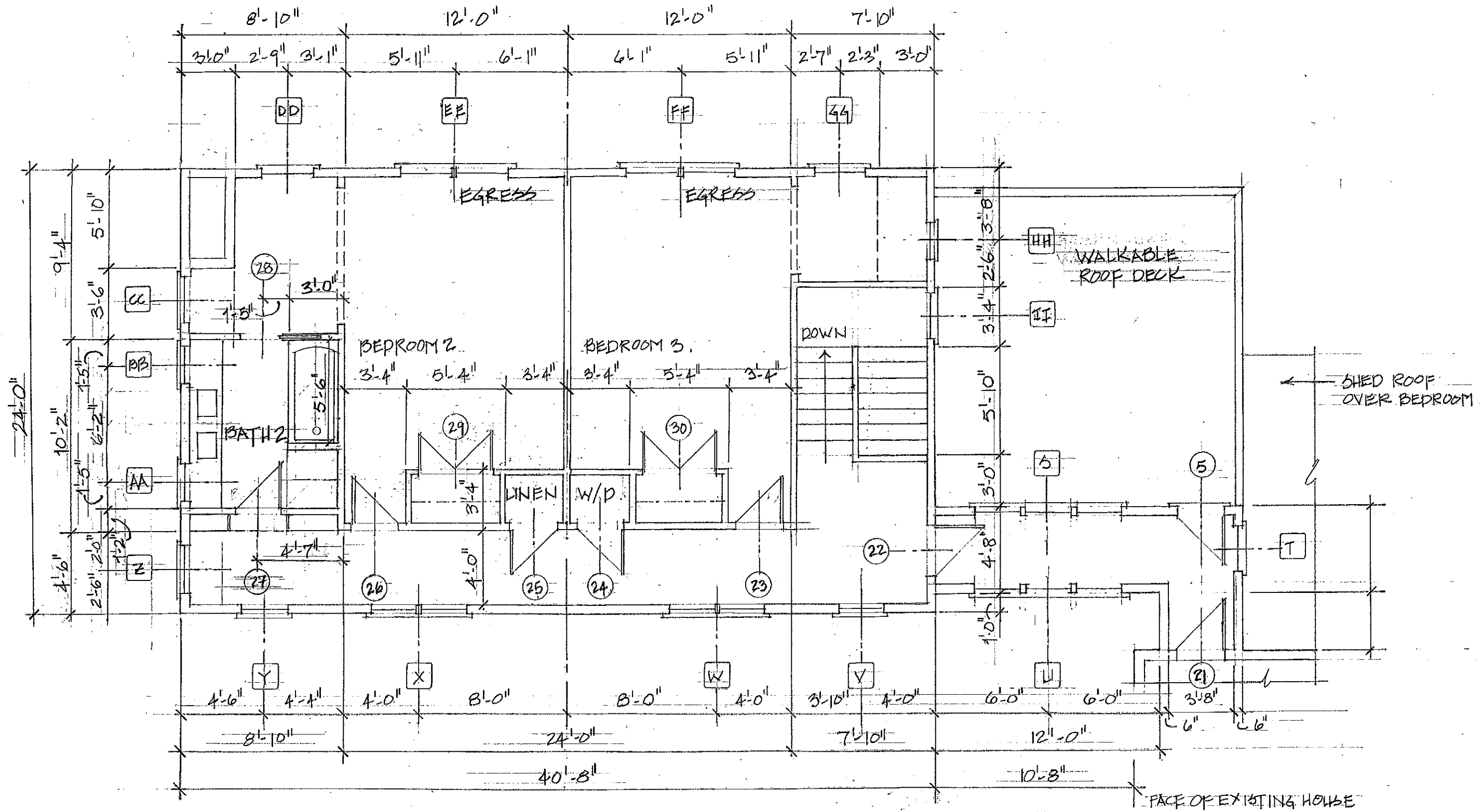
JENNY YOUNG & DONALD CORNER
ARCHITECTS

WEBSTER RESIDENCE 3/16" = 1'-0"
FIRST FLOOR PRIMARY BEDROOM



6 WEBSTER RESIDENCE 3/16" = 1'-0"
 FIRST FLOOR - NORTH WING

TENNY YOUNG & RONALD CORNER
 ARCHITECTS.



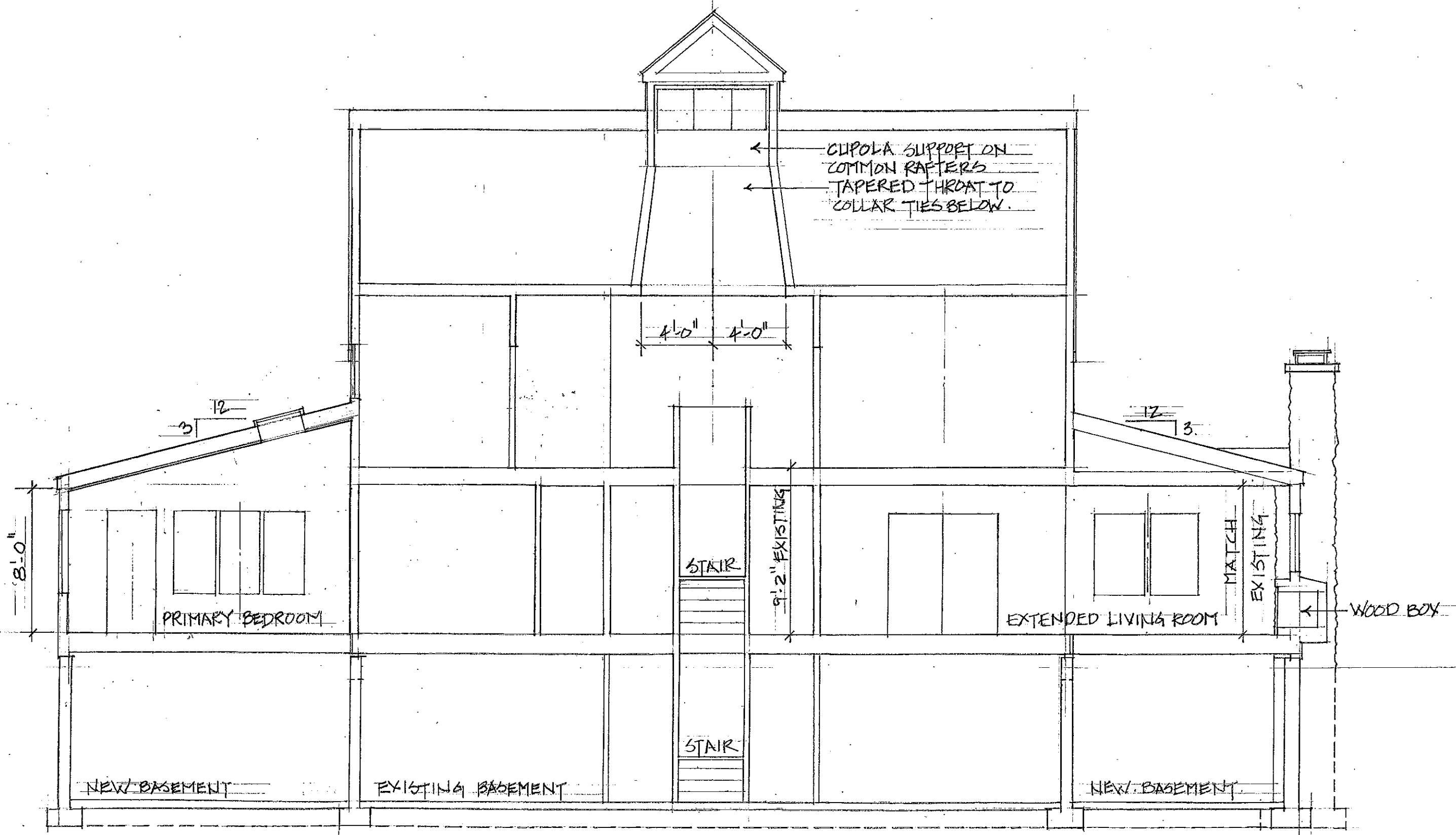
2.10

JENNY YOUNG & DONALD CORNER ARCHITECTS.

WEBSTER RESIDENCE 3/16" = 1'-0"

SECOND FLOOR - NORTH WING

A

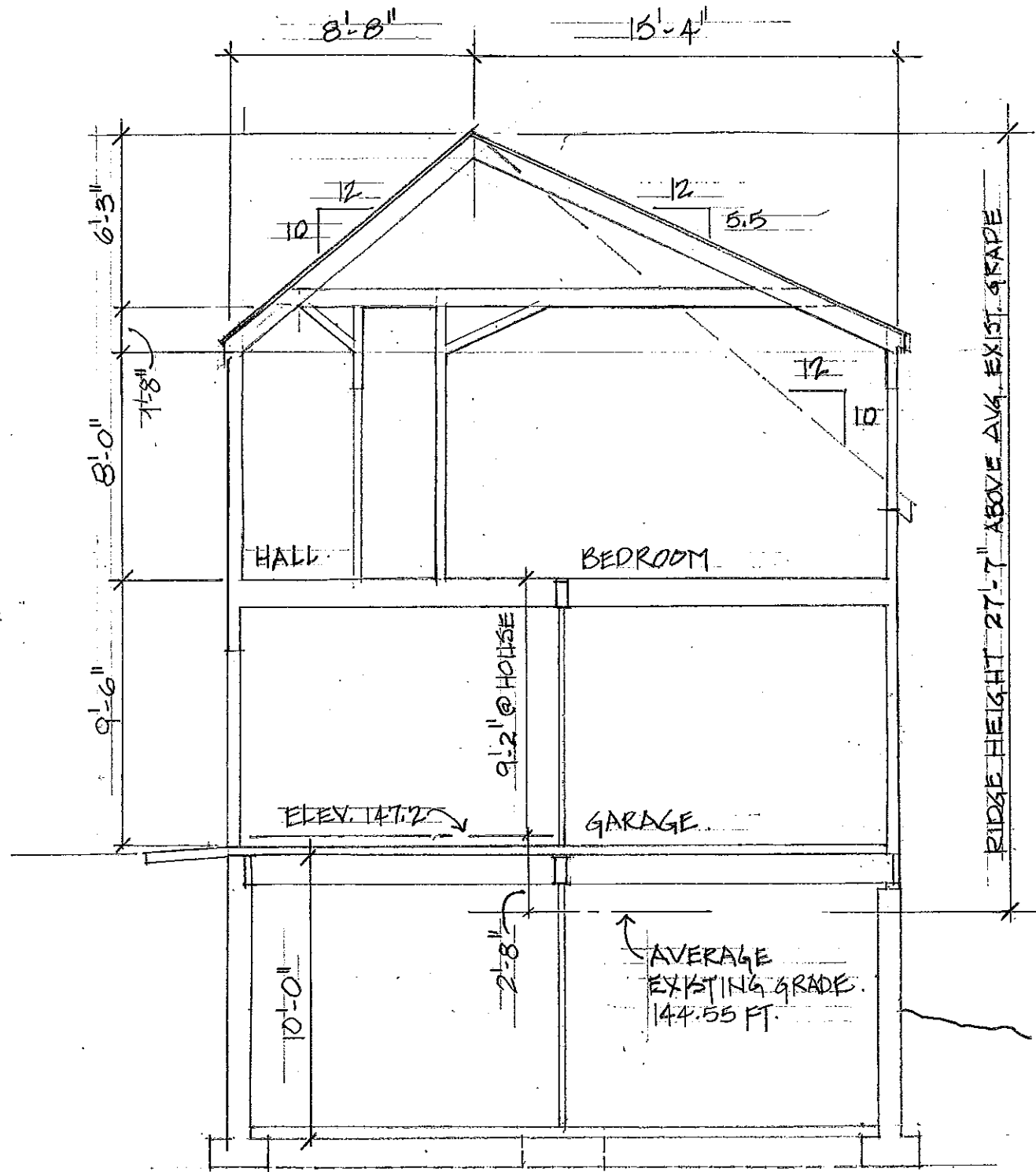


12.10

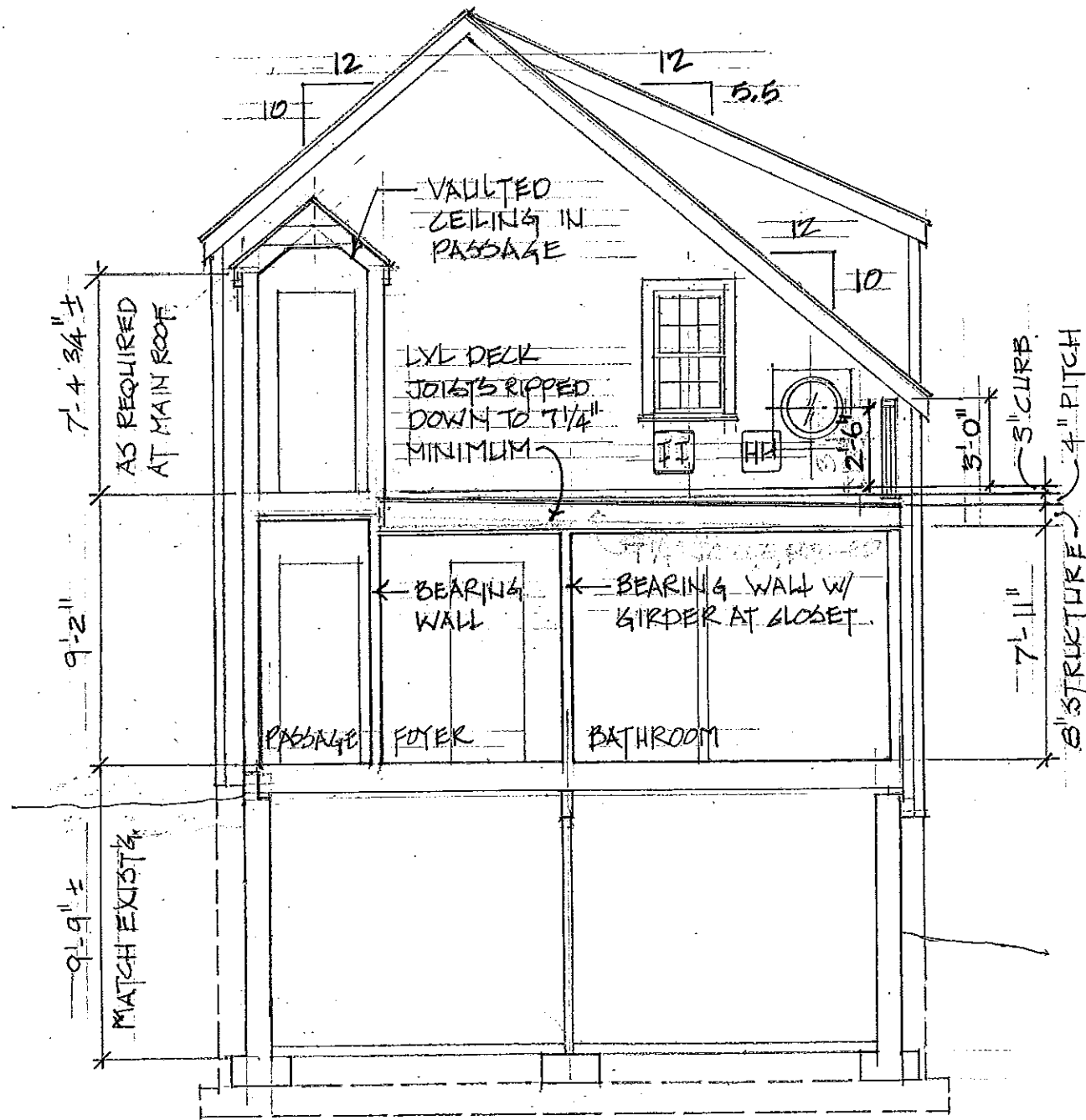
JENNY YOUNG & DONALD CORNER ARCHITECTS.

WEBSTER RESIDENCE 3/16" = 1'-0"
E-W SECTION AT MAIN HOUSE.

CS



SECTION AT GARAGE



SECTION AT PRIMARY BATHROOM W/ GARAGE SOUTH ELEVATION

12.10
 WEBSTER RESIDENCE 3/16" = 1'-0"
 E-W SECTIONS AT NORTH WING
 JENNY YOUNG & DONALD CORNER ARCHITECTS.



12.10

JENNY YOUNG & DONALD CORNER ARCHITECTS

3/16" = 1'-0"

WEBSTER RESIDENCE NORTH ELEVATION

10



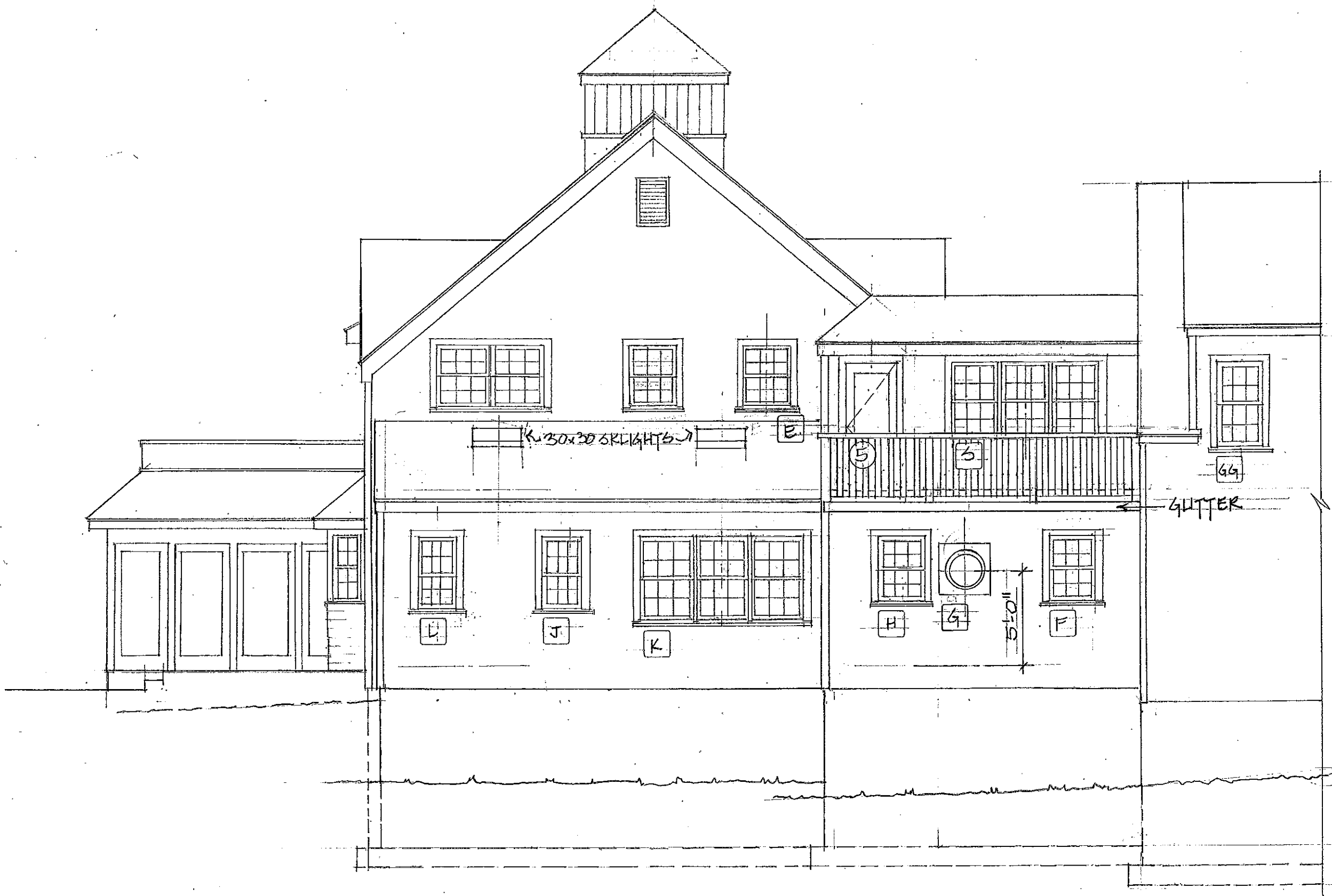
12.10

JENNY YOUNG & DONALD CORNER
ARCHITECTS.

WEBSTER RESIDENCE 3/16" = 1'-0"
WEST ELEVATION AT MAIN HOUSE.

11



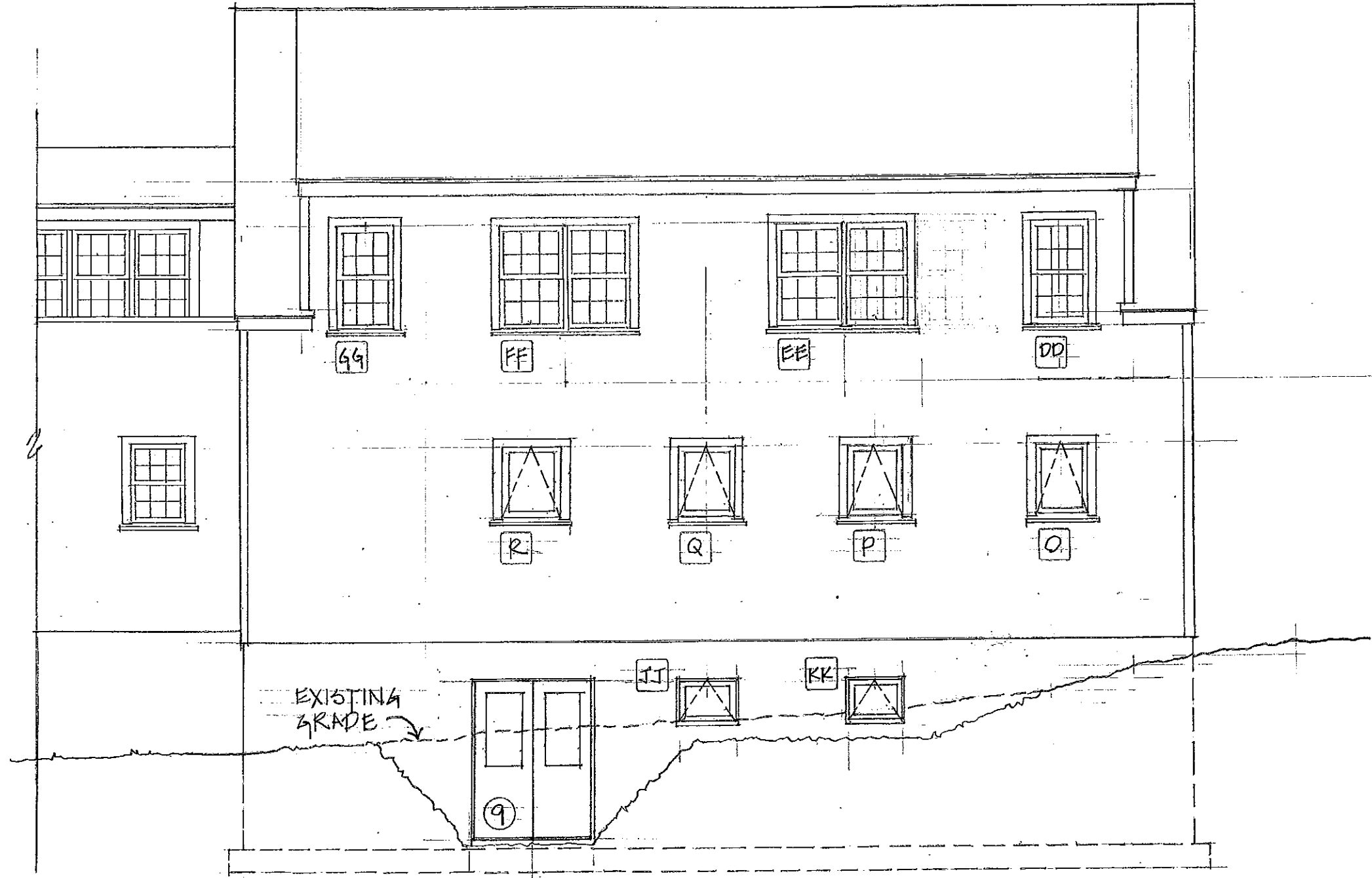


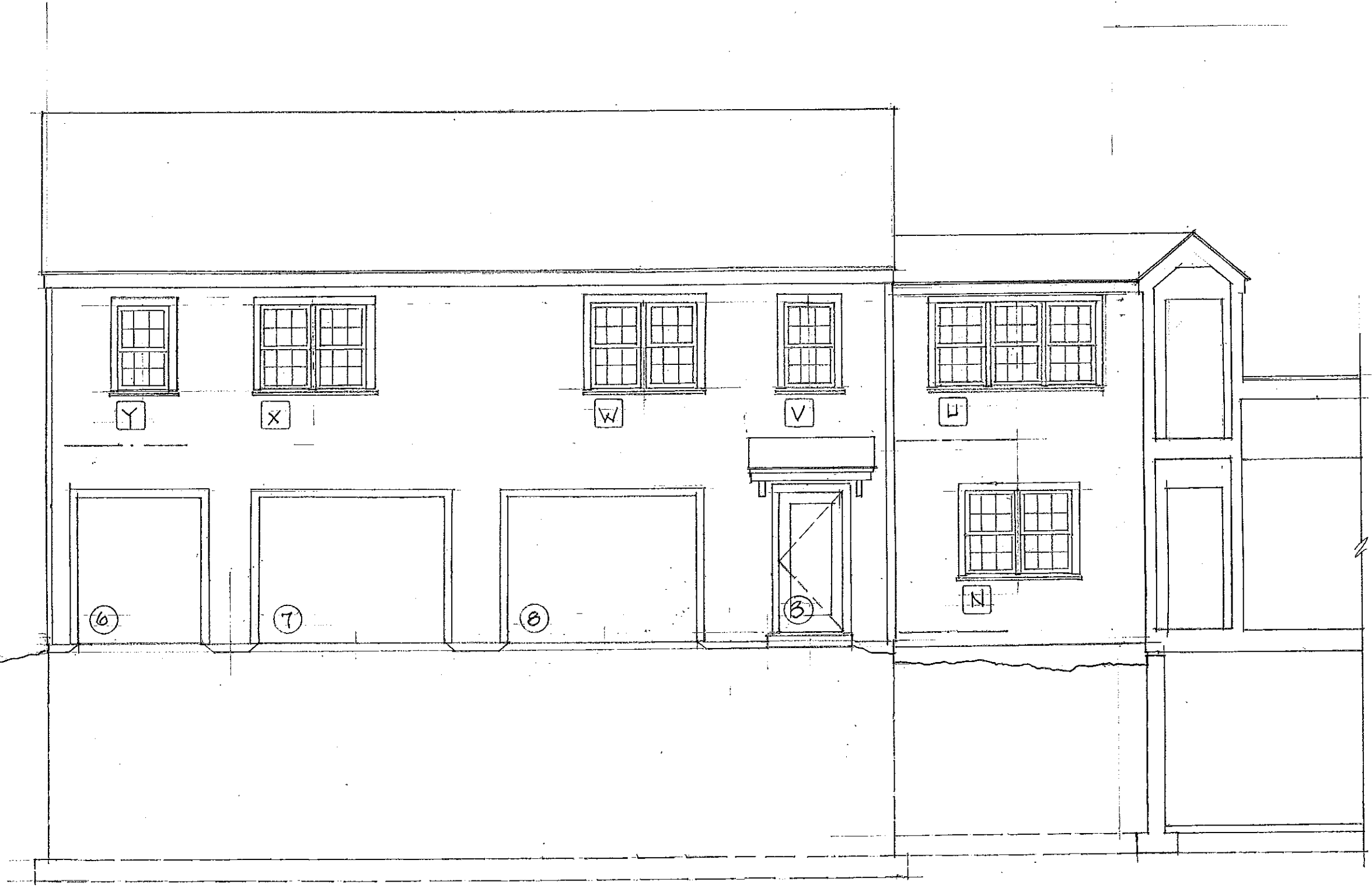
12.10

JENNY YOUNG & DONALD CORNER ARCHITECTS.

WEBSTER RESIDENCE 3/4" = 1'-0"
EAST ELEVATION AT MAIN HOUSE

13



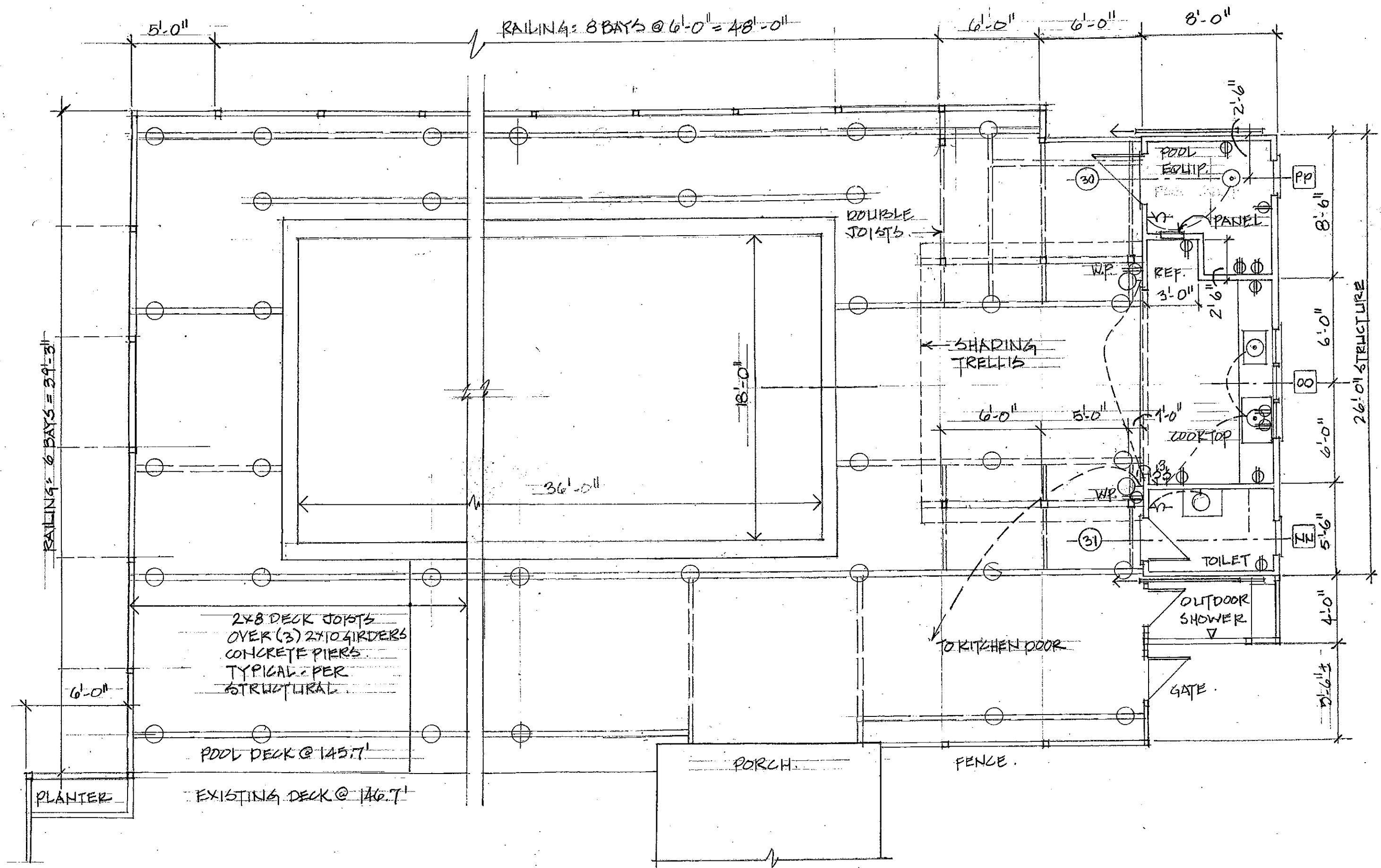


12.10.

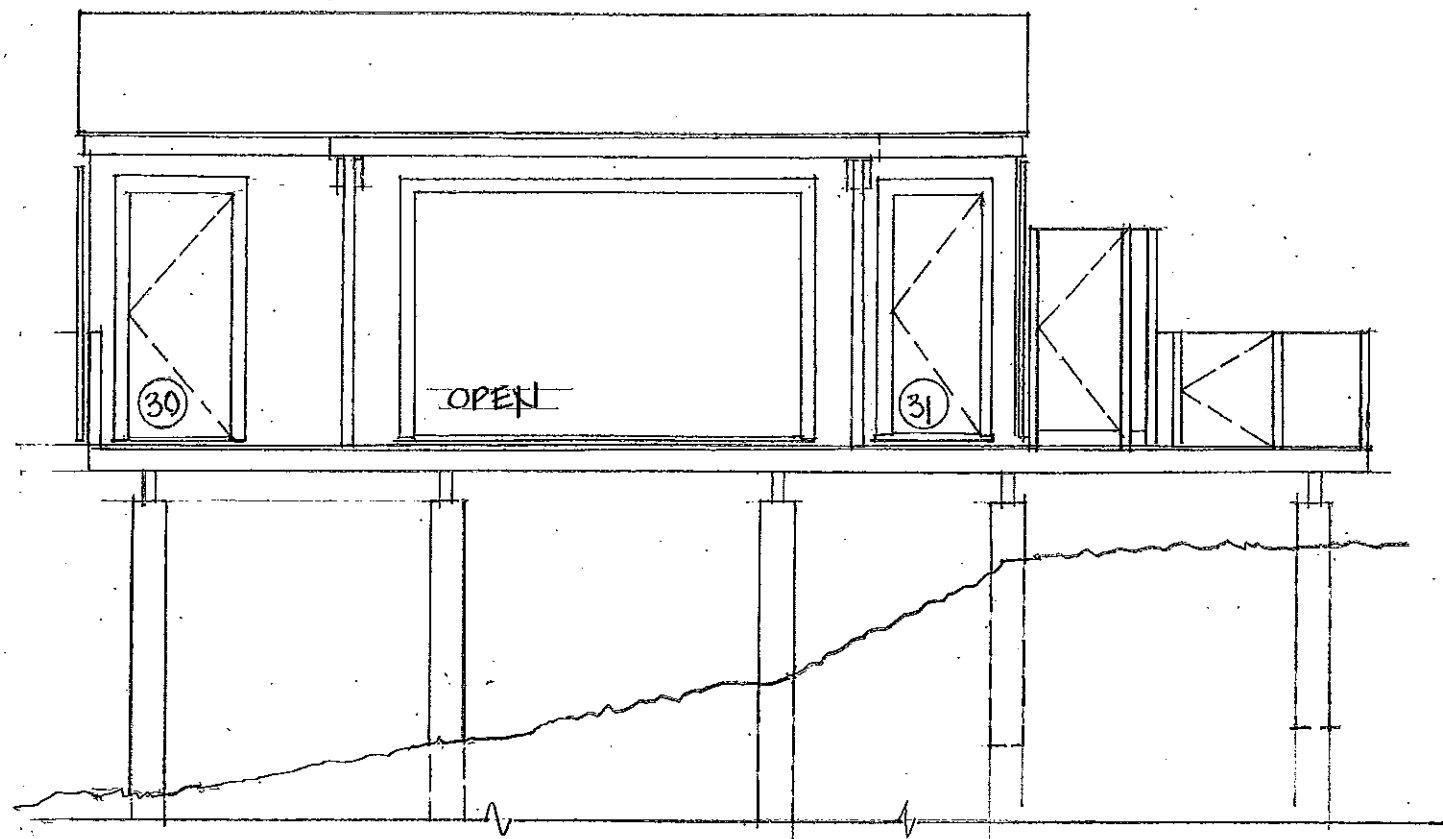
JENNY YOUNG & DONALD CORNER
ARCHITECTS.

WEBSTER RESIDENCE
WEST ELEVATION AT GARAGE WING
3/16" = 1'-0"

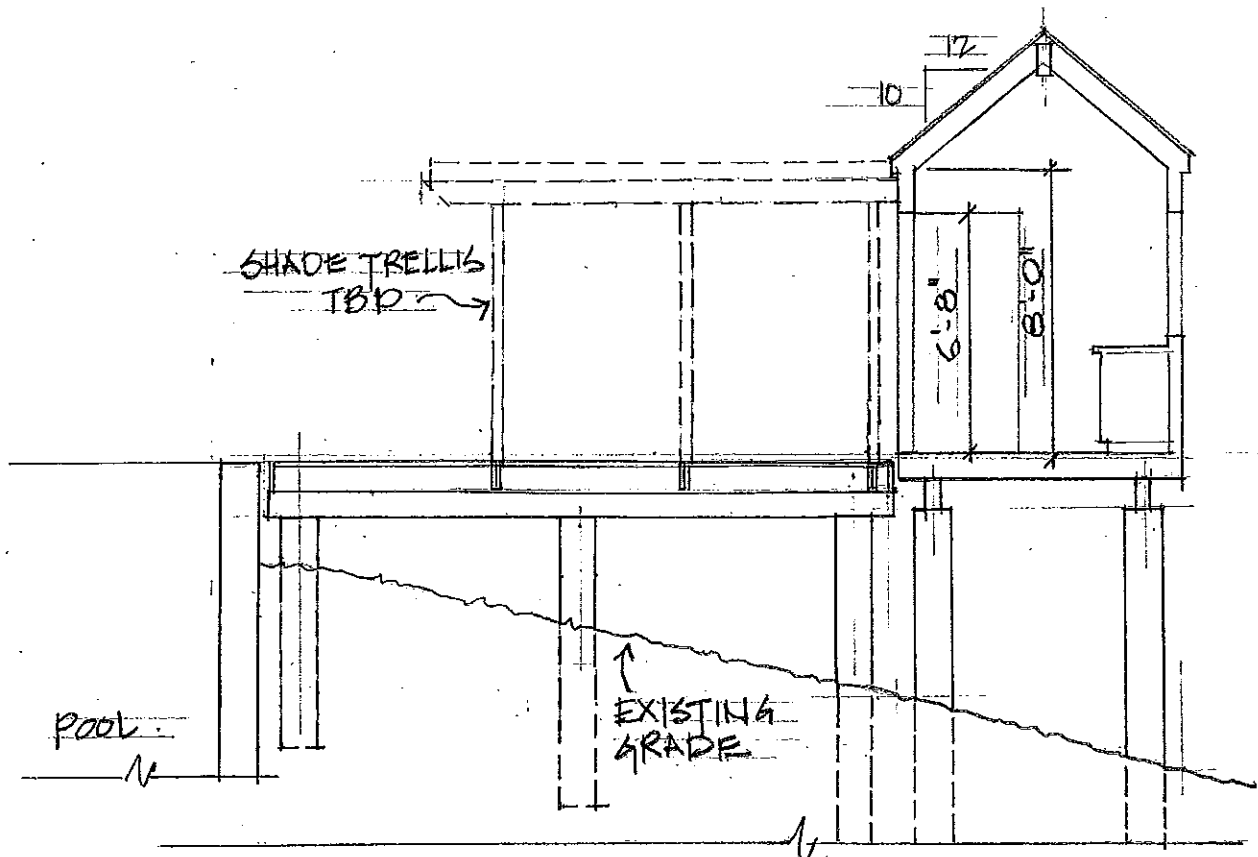
15



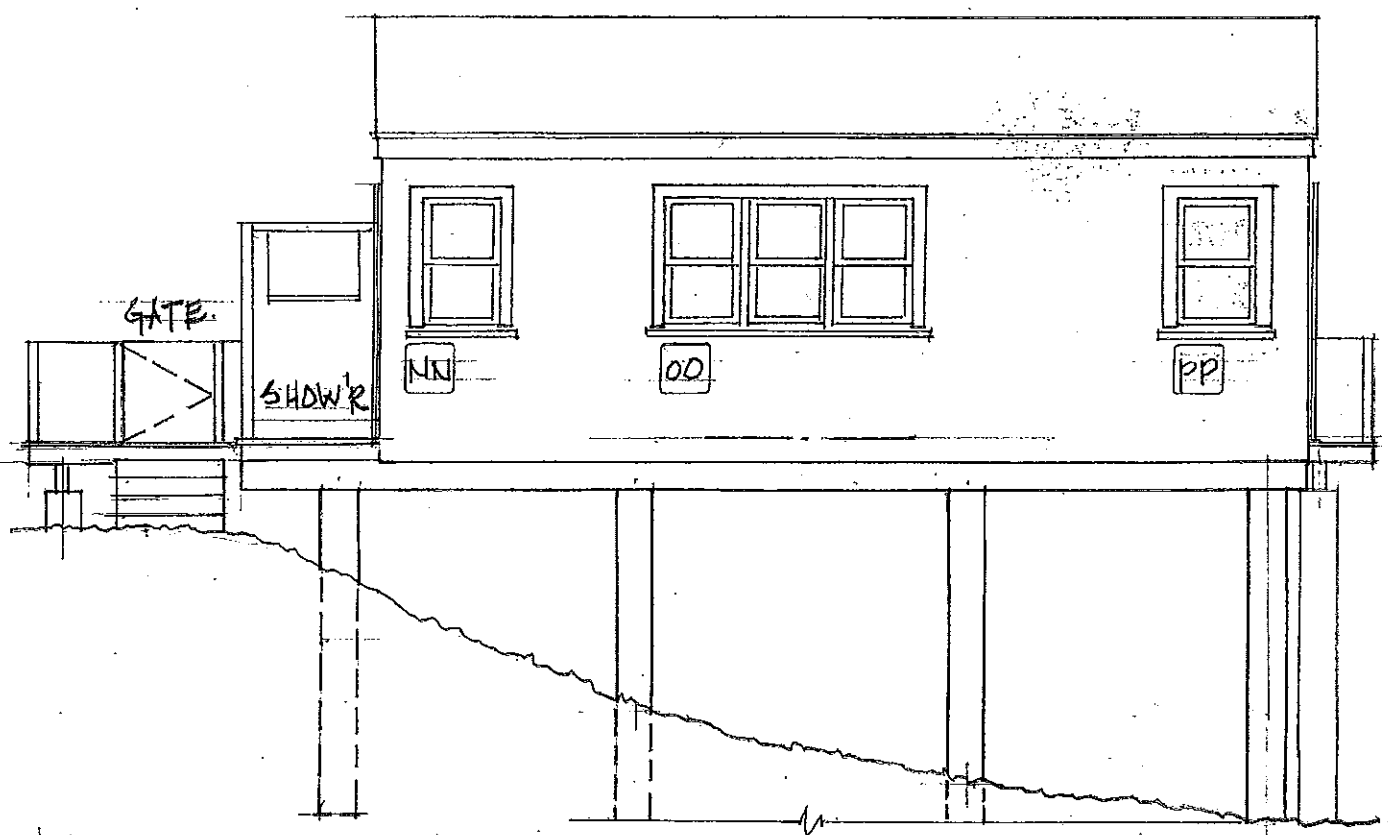
WEBSTER RESIDENCE 3/16" x 11-0"
 POOL DECK AND PORCH PLAN
 STENNY YOUNG & DONALD CORNER ARCHITECTS
 6



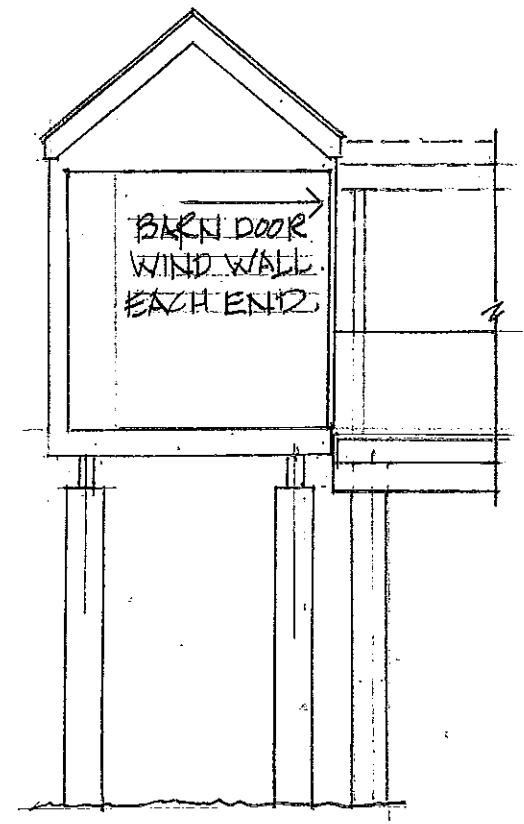
EAST POOLHOUSE ELEVATION



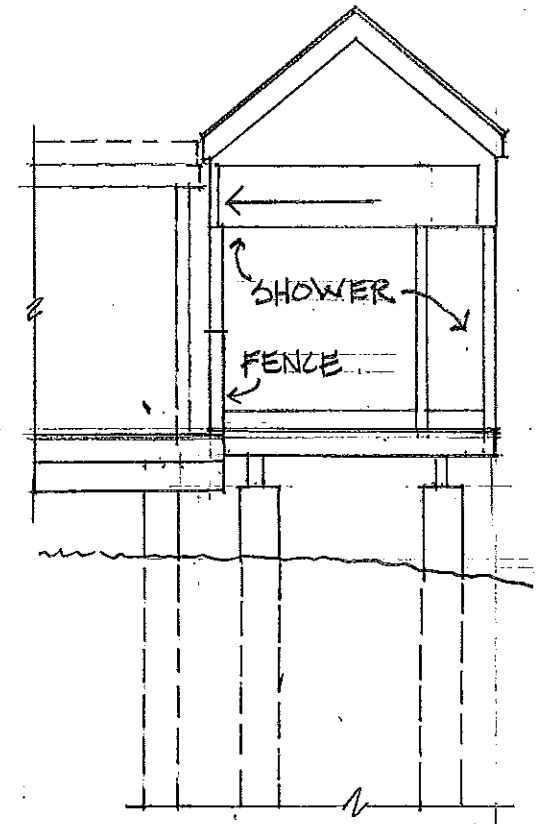
POOLHOUSE SECTION



WEST POOLHOUSE ELEVATION

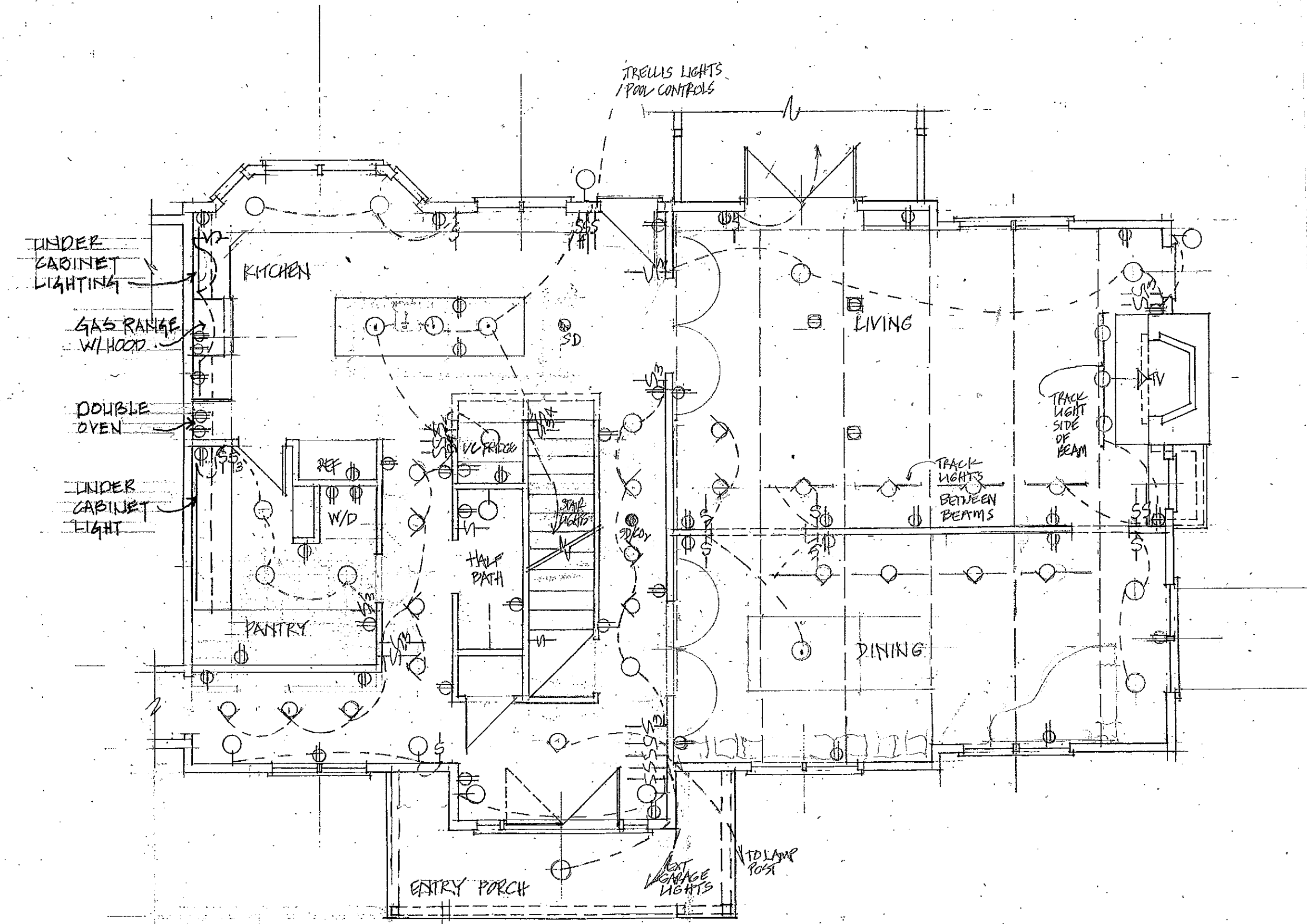


SOUTH ELEVATION



NORTH ELEVATION

12.14
 WEBSTER RESIDENCE 3/16 - 1-01
 POOLHOUSE SECTION & ELEVATIONS
 JENNY YOUNG & DONALD CORNER ARCHITECTS

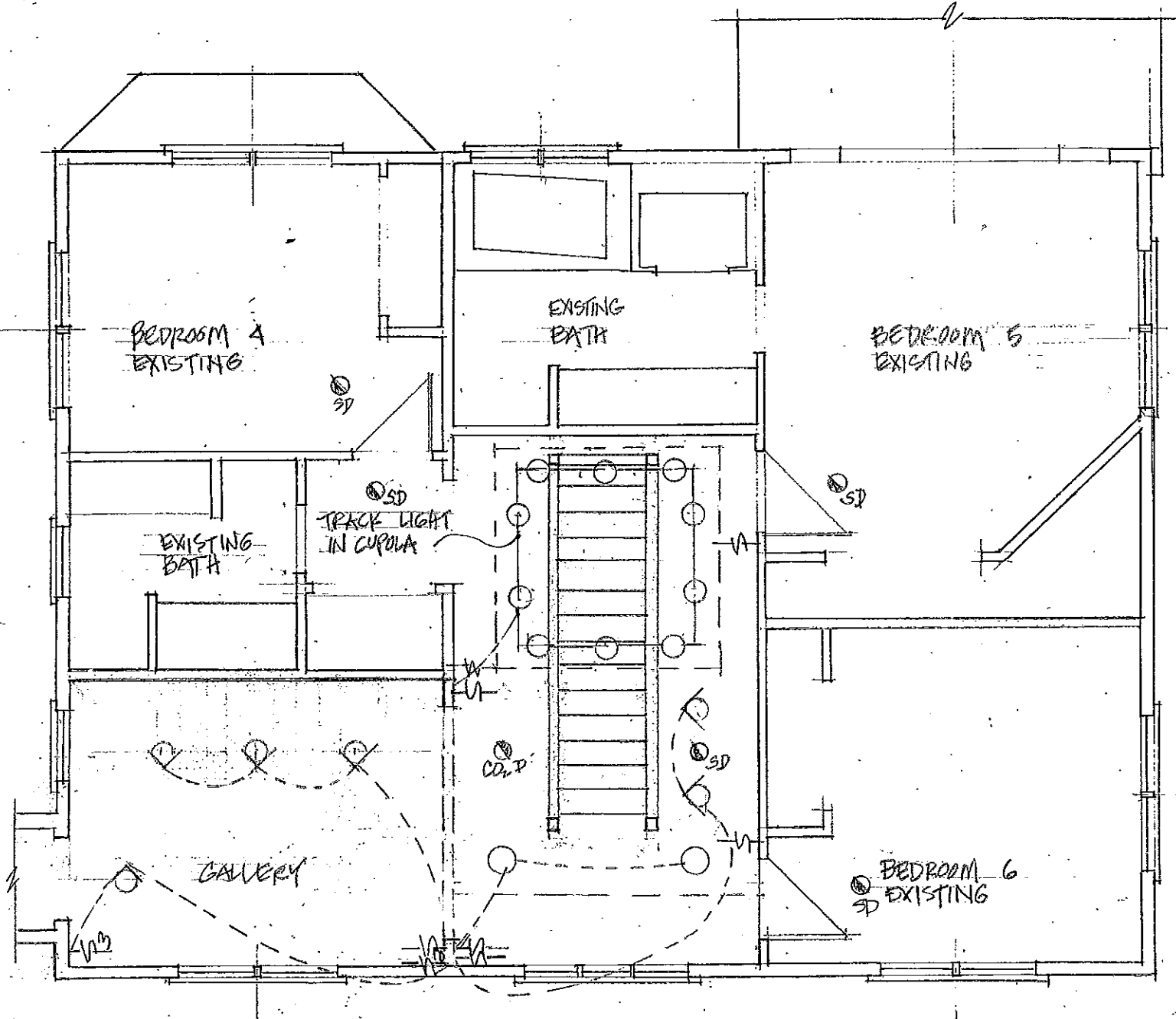


KEY

- CEILING FIXTURE
- PENDANT FIXTURE
- WALL MOUNTED
- ◇ WALL-WASH FIXTURE
- TRACK LIGHT
- CEILING FAN
- ▣ BATH LIGHT/FAN/VENT
- OUTLET
- GFCI OUTLET
- 220V OUTLET
- CEILING OUTLET
- ▣ FLOOR OUTLET
- ⎓ SWITCH
- ⎓ 3-WAY SWITCH
- ⎓ 4-WAY SWITCH
- CO2 DETECTOR
- SMOKE DETECTOR
- COMBINED SMOKE AND CO2 DETECTOR

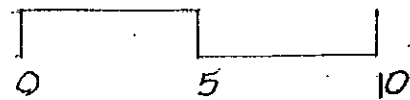
JELLY YOUNG & DONALD CORNER ARCHITECTS

WEBSTER RESIDENCE 3/16" = 1'-0" ELECTRICAL FIRST FLOOR MAIN HOUSE



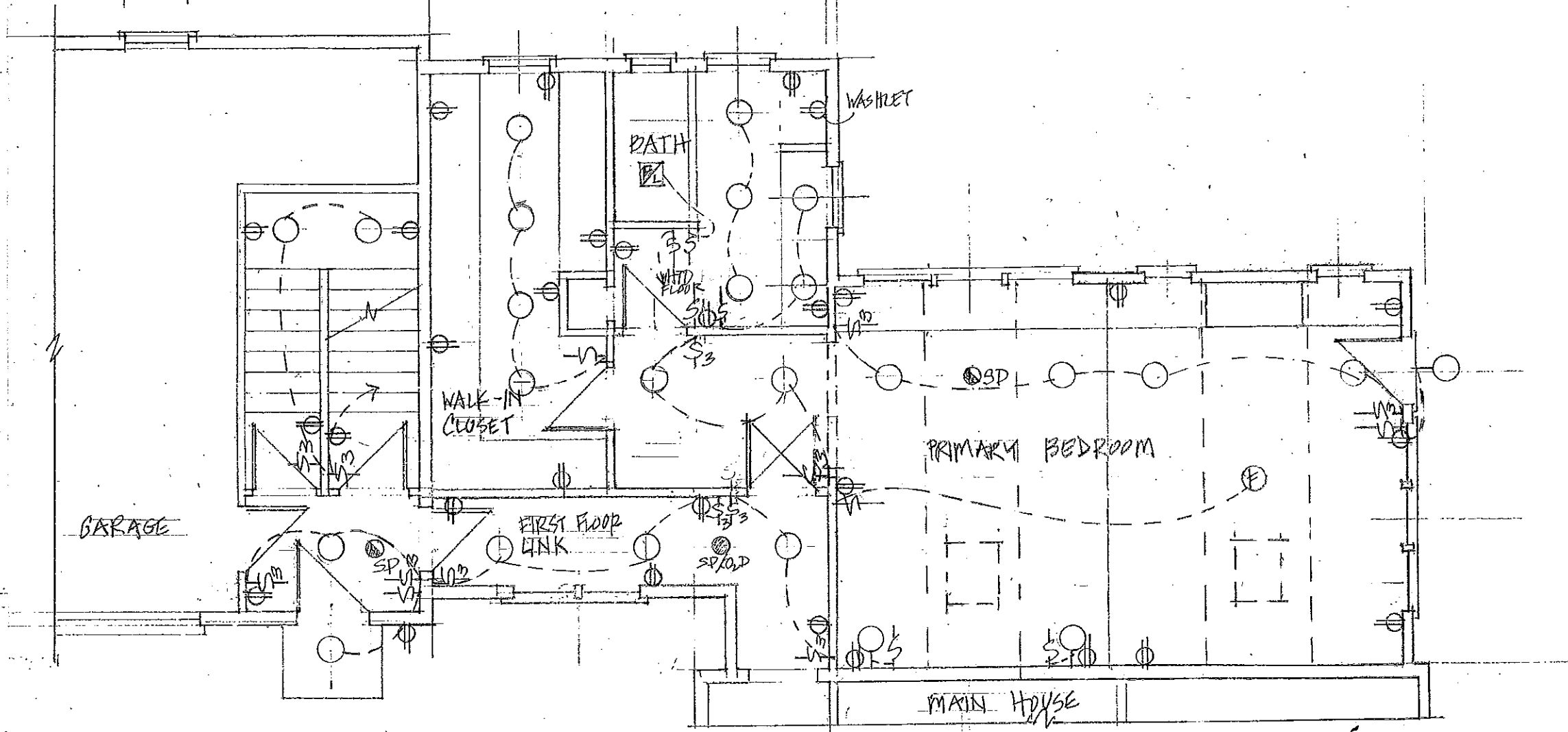
KEY

- CEILING FIXTURE
- PENDANT FIXTURE
- WALL MOUNTED
- ◊ WALL-WASH FIXTURE
- TRACK LIGHT
- ⊗ CEILING FAN
- ⊠ BATH LIGHT/FAN/VENT
- ⊙ OUTLET
- ⊙ GFCI OUTLET
- ⊙ 220V OUTLET
- ⊙ CEILING OUTLET
- ⊙ FLOOR OUTLET
- ⊏ SWITCH
- ⊏ 3-WAY SWITCH
- ⊏ 4-WAY SWITCH
- ⊙ CO2 DETECTOR
- ⊙ SMOKE DETECTOR
- ⊙ COMBINED SMOKE AND CO2 DETECTOR



KEY

- CEILING FIXTURE
- ⊙ PENDANT FIXTURE
- ⊖ WALL MOUNTED
- ⊖ WALL-WASH FIXTURE
- TRACK LIGHT
- ⊖ CEILING FAN
- ⊖ BATH LIGHT/FAN/VENT
- ⊖ OUTLET
- ⊖ GFCI OUTLET
- ⊖ 220V OUTLET
- ⊖ CEILING OUTLET
- ⊖ FLOOR OUTLET
- ⊖ SWITCH
- ⊖ 3-WAY SWITCH
- ⊖ 4-WAY SWITCH
- ⊖ CO2 DETECTOR
- ⊖ SMOKE DETECTOR
- ⊖ COMBINED SMOKE AND CO2 DETECTOR

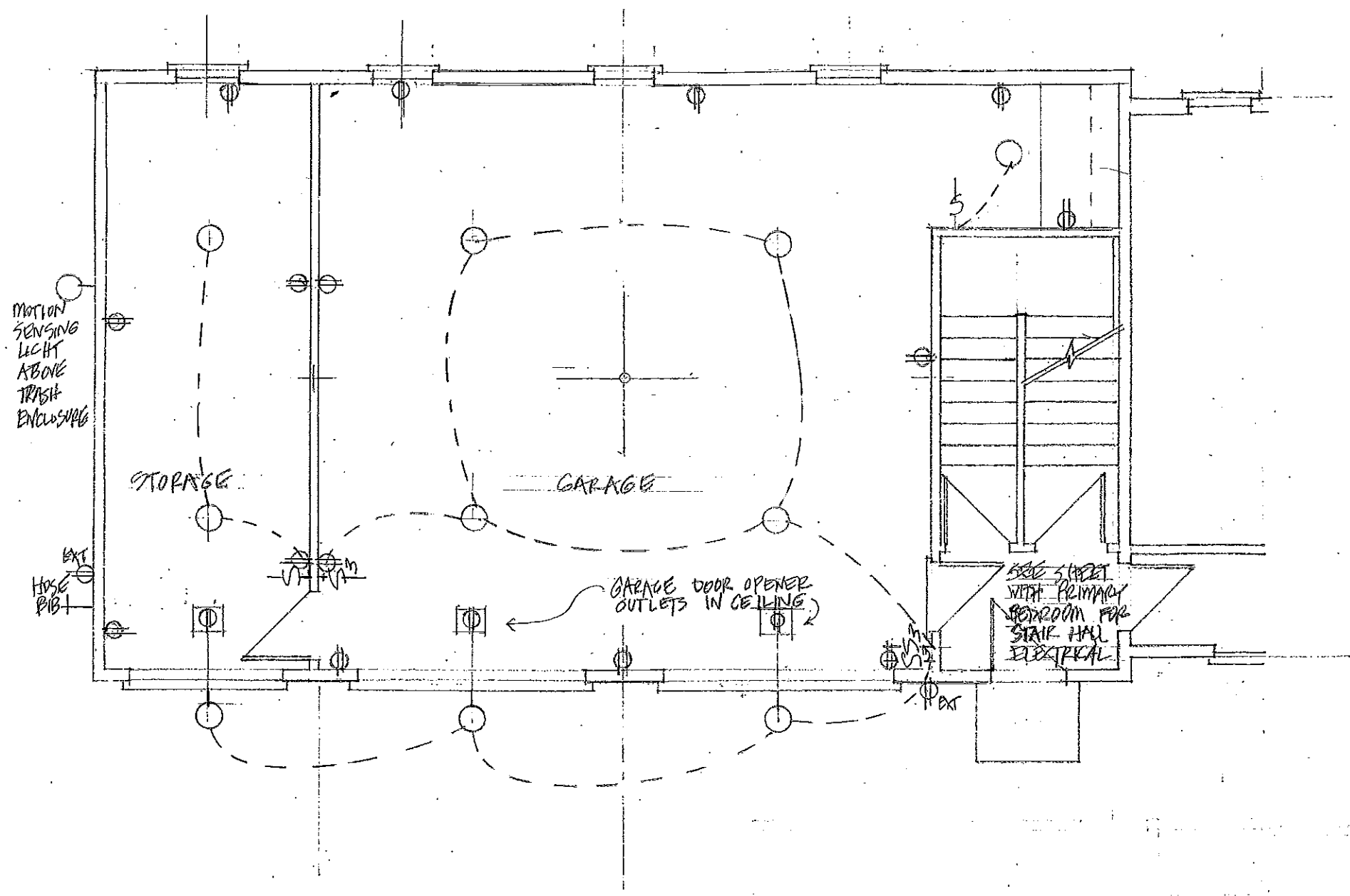


JENNY YOUNG & DONALD CORNER ARCHITECTS

WEBSTER RESIDENCE 2 1/2" = 1'-0" ELECTRICAL FIRST FLOOR - PRIMARY BEDROOM

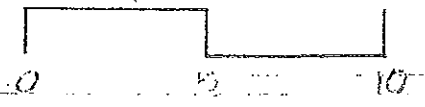
KEY

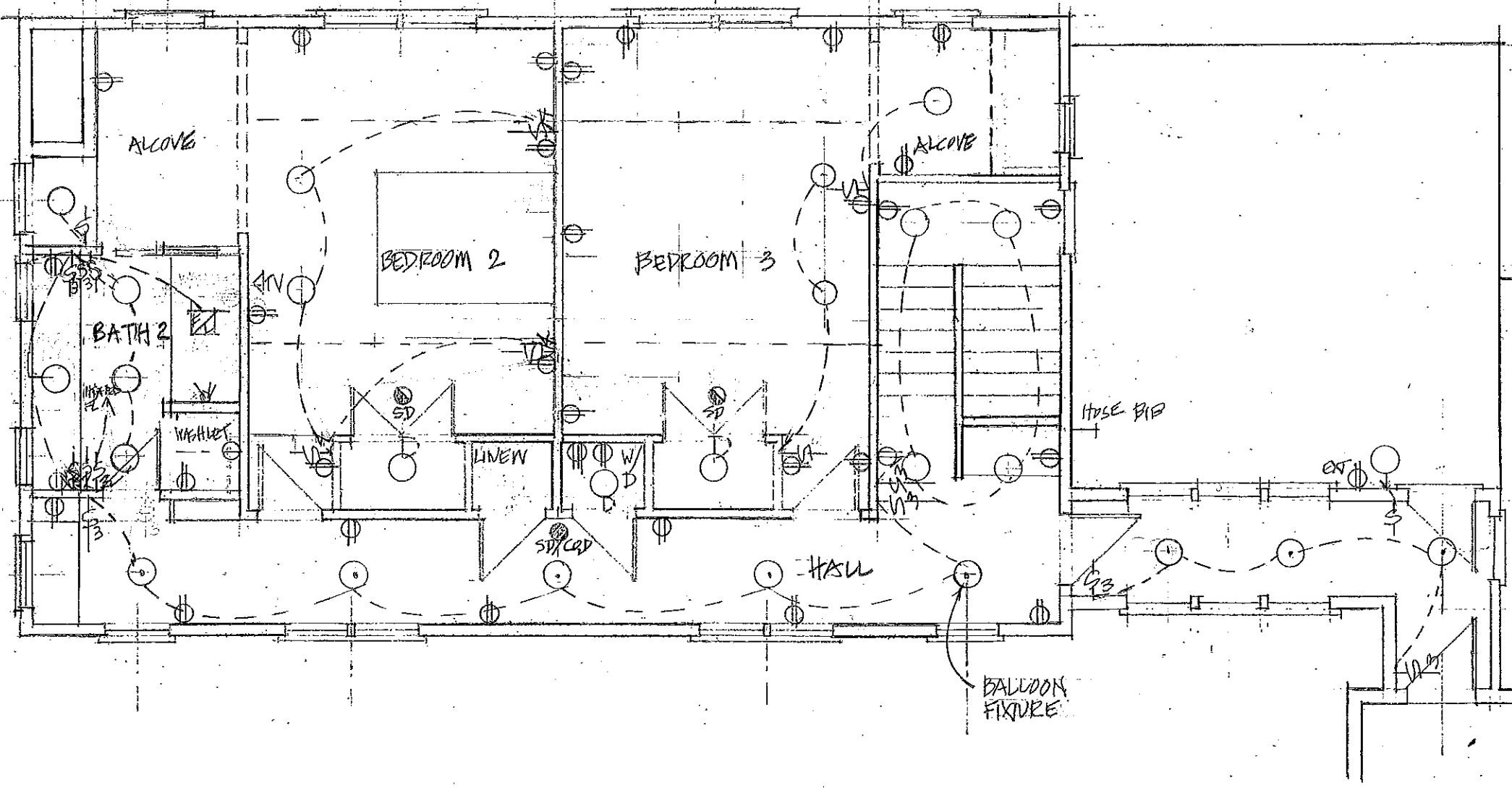
- CEILING FIXTURE
- ⊙ PENDANT FIXTURE
- ⊖ WALL MOUNTED
- ⊖ WALL-WASH FIXTURE
- TRACK-LIGHT
- ⊖ CEILING FAN
- ⊖ BATH LIGHT/FAN/VENT
- ⊖ OUTLET
- ⊖ GFCI OUTLET
- ⊖ 220V OUTLET
- ⊖ CEILING OUTLET
- ⊖ FLOOR OUTLET
- ⊖ SWITCH
- ⊖ 3-WAY SWITCH
- ⊖ 4-WAY SWITCH
- ⊖ CO2 DETECTOR
- ⊖ SMOKE DETECTOR
- ⊖ COMBINED SMOKE AND CO2 DETECTOR



JENNY YOUNG & DONALD CORNER ARCHITECTS

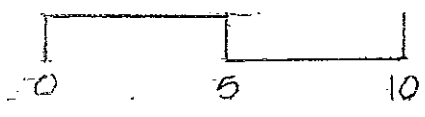
WEBSTER RESIDENCE 3/16" = 1'-0" ELECTRICAL FIRST FLOOR GARAGE





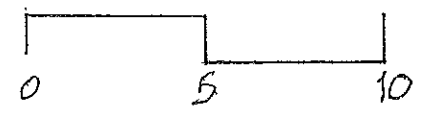
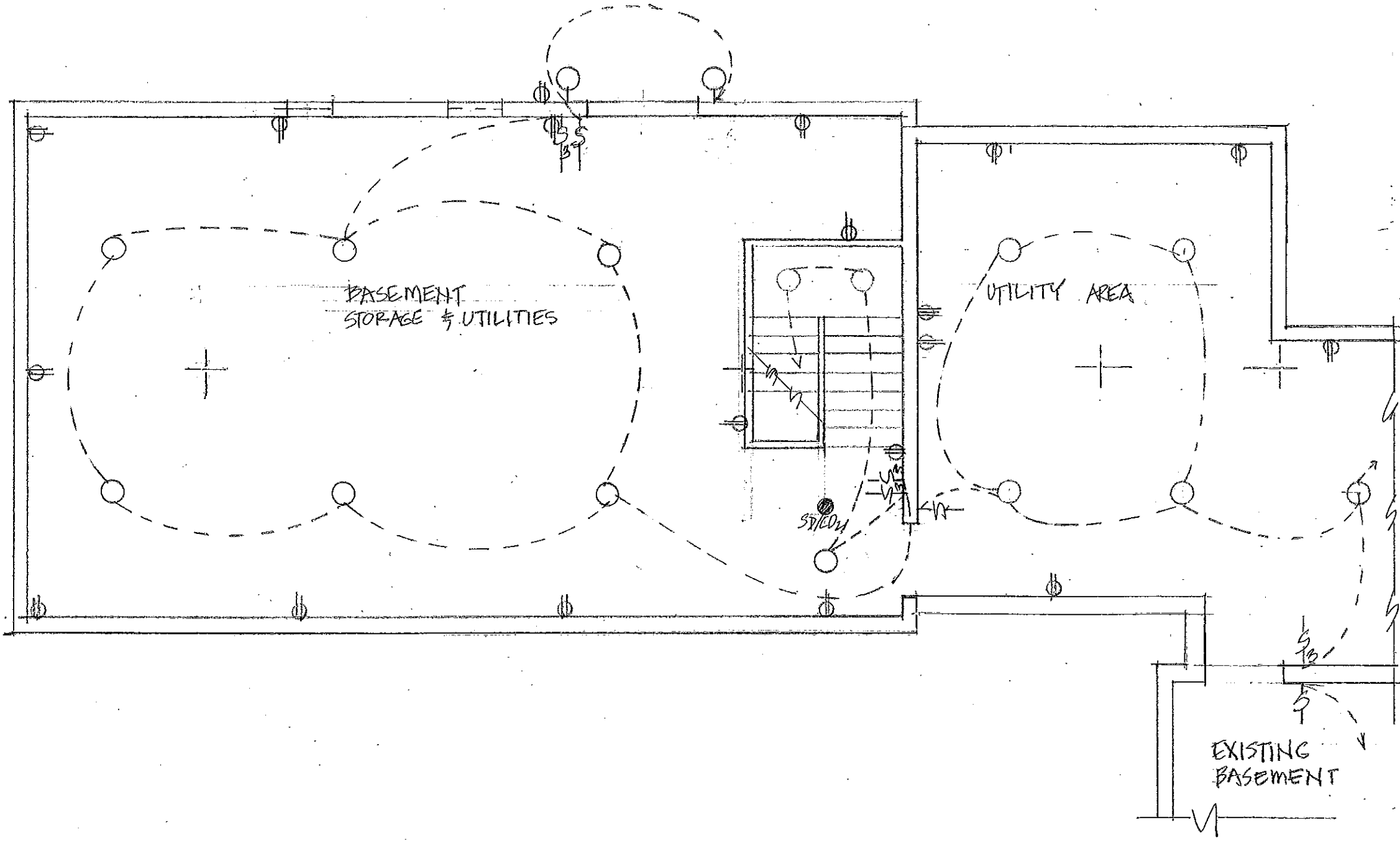
KEY

- CEILING FIXTURE
- ⊙ PENDANT FIXTURE
- ⊖ WALL MOUNTED
- ⊖ WALL-WASH FIXTURE
- ○ ○ TRACK LIGHT
- ⊖ CEILING FAN
- ⊖ BATH LIGHT/FAN/VENT
- ⊖ OUTLET
- ⊖ GFCI OUTLET
- ⊖ 220V OUTLET
- ⊖ CEILING OUTLET
- ⊖ FLOOR OUTLET
- ⊖ SWITCH
- ⊖ 3-WAY SWITCH
- ⊖ 4-WAY SWITCH
- ⊖ CO2 DETECTOR
- ⊖ SMOKE DETECTOR
- ⊖ COMBINED SMOKE AND CO2 DETECTOR



KEY

- CEILING FIXTURE
- PENDANT FIXTURE
- WALL MOUNTED
- WALL-WASH FIXTURE
- TRACK LIGHT
- CEILING FAN
- ⊠ BATH LIGHT/FAN/VENT
- ⊕ OUTLET
- ⊕ GFCI OUTLET
- ⊕ 220V OUTLET
- ⊕ CEILING OUTLET
- ⊕ FLOOR OUTLET
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ 4-WAY SWITCH
- ⊕ CO2 DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ COMBINED SMOKE AND CO2 DETECTOR



Webster Residence, West Tisbury

Jenny Young & Donald Corner, Architects
 jyoung@uoregon.edu (541) 510-2111

Window Schedule:

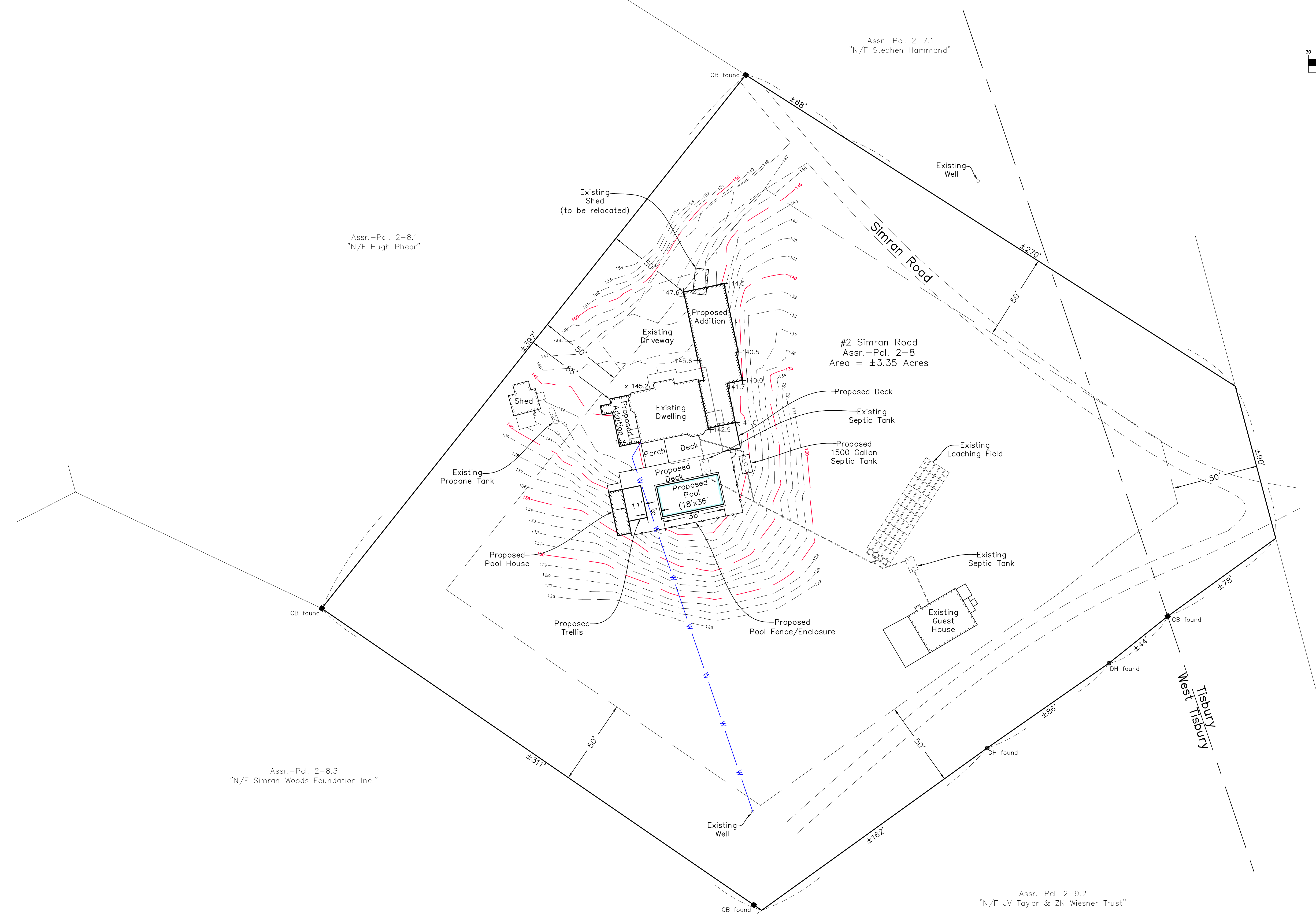
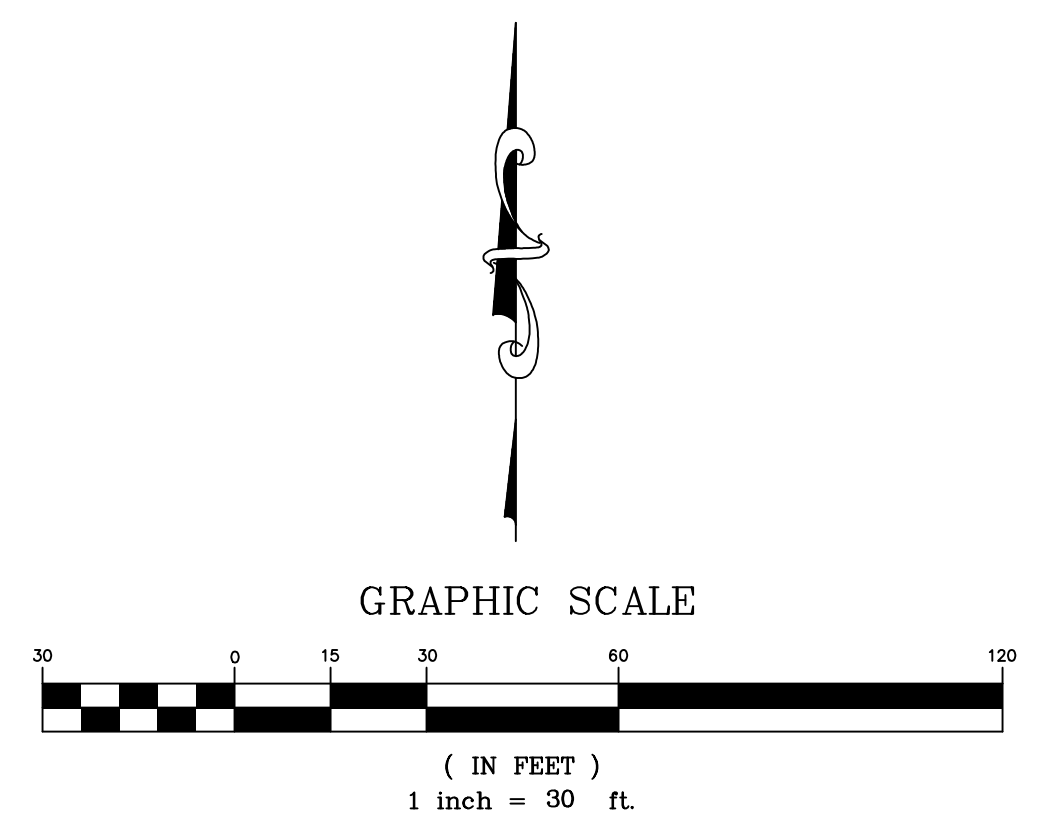
	Location	Nominal Size	Type	Qty.	Andersen 400	Unit Size	Notes
A	South living room	2-9 x 4-8	DH	2	WDH2846	2-9 5/8 x 4-8 7/8	
B	West living room	2-5 x 3-0	DH	1	WDH24210	2-5 5/8 x 3-0 7/8	
C	West dining room	2-9 x 4-8	DH	2	WDH2846	2-9 5/8 x 4-8 7/8	
D	North dining room	2-9 x 4-8	DH	2	WDH2846	2-9 5/8 x 4-8 7/8	
E	Second floor hall	2-7 x 3-0	DH	1	WDH26210	2-7 5/8 x 3-0 7/8	
F	Primary closet	2-5 x 3-4	DH	1	WDH2432	2-5 5/8 x 3-4 7/8	
G	Primary shower	porthole	fixed	1	Andersen	2'-0" diameter	
H	East primary bath	2-5 x 3-4	DH	1	WDH2432	2-5 5/8 x 3-4 7/8	
I	South primary bath	2-5 x 3-4	DH	1	WDH2432	2-5 5/8 x 3-4 7/8	
J	East primary sleeping area	2-9 x 4-4	DH	3	WDH2842	2-9 5/8 x 4-4 7/8	
K	East primary sitting A	2-1 x 3-8	DH	1	WDH2036	2-1 5/8 x 3-8 7/8	
L	East primary sitting B	2-1 x 3-8	DH	1	WDH2036	2-1 5/8 x 3-8 7/8	
M	South primary sitting	2-5 x 4-4	DH	3	WDH2442	2-5 5/8 x 4-4 7/8	
N	West lower passage	2-5 x 4-0	DH	2	WDH24310	2-5 5/8 x 4-0 7/8	
O	East storage room	2-4 x 2-11	AW	1	ELAWN2935	2-4 x 2-11 1/8	
P	East garage A	2-4 x 2-11	AW	1	ELAWN2935	2-4 x 2-11 1/8	
Q	East garage B	2-4 x 2-11	AW	1	ELAWN2935	2-4 x 2-11 1/8	
R	East garage C	2-4 x 2-11	AW	1	ELAWN2935	2-4 x 2-11 1/8	
S	East upper passage	2-5 x 4-0	DH	3	WDH24310	2-5 5/8 x 4-0 7/8	
T	South upper passage	2-5 x 3-4	DH	1	WDH2432	2-5 5/8 x 3-4 7/8	
U	West upper passage	2-5 x 4-0	DH	3	WDH24310	2-5 5/8 x 4-0 7/8	
V	West stairwell	2-5 x 4-0	DH	1	WDH24310	2-5 5/8 x 4-0 7/8	
W	West corridor A	2-5 x 4-0	DH	2	WDH24310	2-5 5/8 x 4-0 7/8	
X	West corridor B	2-5 x 4-0	DH	2	WDH24310	2-5 5/8 x 4-0 7/8	
Y	West corridor ending	2-5 x 4-0	DH	1	WDH24310	2-5 5/8 x 4-0 7/8	
Z	North corridor ending	porthole	fixed	1	Andersen	2'-6" diameter	
AA	North bathroom #2A	2-1 x 3-4	DH	1	WDH2032	2-1 5/8 x 3-4 7/8	
BB	North bathroom #2B	2-1 x 3-4	DH	1	WDH2032	2-1 5/8 x 3-4 7/8	
CC	North bedroom #2 alcove	2-5 x 4-4	DH	1	WDH2442	2-5 5/8 x 4-4 7/8	
DD	East bedroom #2 alcove	2-5 x 4-4	DH	1	WDH2442	2-5 5/8 x 4-4 7/8	
EE	East bedroom #2	2-9 x 4-4	DH	2	WDH2842	2-9 5/8 x 4-4 7/8	Egress
FF	East bedroom #3	2-9 x 4-4	DH	2	WDH2842	2-9 5/8 x 4-4 7/8	Egress
GG	East bedroom #3 alcove	2-5 x 4-4	DH	1	WDH2442	2-5 5/8 x 4-4 7/8	
HH	East bedroom #3 cave	porthole	fixed	1	Andersen	2'-0" diameter	
II	Staircase landing	2-5 x 4-0	DH	1	WDH24310	2-5 5/8 x 4-0 7/8	
JJ	East basement A	2-4 x 1-7	AW	1	ELAWN2919	2-4 x 1-7 1/8	
KK	East basement B	2-4 x 1-7	AW	1	ELAWN2919	2-4 x 1-7 1/8	
LL	North cupola	2-0 x 2-3	AW	3	ELAWN2527 3W	6-1 x 2-3	
MM	South cupola	2-0 x 2-3	AW	3	ELAWN2527 3W	6-1 x 2-3	
NN	Pool house equipment	2-1 x 3-4	DH	1	WDH2036	2-1 5/8 x 3-4 7/8	
OO	Pool house kitchen	2-1 x 3-4	DH	3	WDH2036	2-1 5/8 x 3-4 7/8	
PP	Pool house bathroom	2-1 x 3-4	DH	1	WDH2036	2-1 5/8 x 3-4 7/8	

Webster Residence, West Tisbury

Jenny Young & Donald Corner, Architects
 jyoung@uoregon.edu (541) 510-2111

Door Schedule:

	Location	W	H	Hand		
1	East living room	2-8	6-8	R		
2	South primary sitting	2-8	6-8	R		
3	East garage entry	3-0	6-8	L		
4	Garage internal entry	2-8	6-8	L		
5	East roof terrace	2-8	6-8	L		
6	West storage overhead	6-0	7-0	Roll-up		
7	West garage overhead A	9-0	7-0	Roll-up		
8	West garage overhead B	9-0	7-0	Roll-up		
9	Basement door	5-0	6-8	Pair		
10	Kitchen to living room	5-0	6-8	Pair		
11	Entry hall to dining room	5-0	6-8	Pair		
12	Corridor to pantry	2-8	6-8	pocket		
13	Kitchen to pantry	2-6	6-8	L		
14	Primary closet	2-6	6-8	L		
15	Primary bath	2-6	6-8	L		
16	Primary bedroom	2-8	6-8	R		
17	Lower passage to vestibule	2-8	6-8	L		
18	Staircase up	2-8	6-8	R		
19	Staircase down	2-8	6-8	L		
20	Connecting door to storage	2-8	6-8	L		Unheated spaces
21	Main house to upper passage	2-8	6-8	R		
22	Stair hall to upper passage	2-8	6-8	L		
23	Bedroom #3	2-6	6-8	R		
24	Linen closet	2-6	6-8	L		
25	Washer/Dryer	2-6	6-8	R		
26	Bedroom #2	2-6	6-8	L		
27	Bath #2	2-6	6-8	R		
28	Bath #2 to bedroom #2	2-4	6-8	Pocket		
29	Closet in bedroom #2	4-0	6-8	Pair		
30	Closet in bedroom #3	4-0	6-8	Pair		
31	Pool House equipment room	3-0	6-8	Left-reverse		Outward opening exterior door
32	Pool House toilet room	2-6	6-8	R		Inward opening exterior door.



Assr.-Pcl. 2-8.1
"N/F Hugh Phear"

Assr.-Pcl. 2-7.1
"N/F Stephen Hammond"

Tisbury Assr.-Pcl. 55-A-4
"N/F Carly Simon"

Assr.-Pcl. 2-8.3
"N/F Simran Woods Foundation Inc."

Assr.-Pcl. 2-9.2
"N/F JV Taylor & ZK Wiesner Trust"

Legend:
x 142.5 Denotes Spot Grades

Building Elevations:
First Floor = 147.2
Front Porch = 146.8
Back Deck = 146.7
Ridge = 174.2

Site Plan in
West Tisbury, Mass.
Prepared for
Candy Webster
Scale 1" = 20'
October 31, 2022

VINEYARD LAND SURVEYING & ENGINEERING
12 Cournoyer Road
P.O. Box 421
West Tisbury, MA 02575
P 508-693-3774 F 508-629-0440
VLSE.net

Home Energy Rating Certificate

Projected Report
Based on Plans

Rating Date:
Registry ID:
Ekotrope ID: pdW5mWE2

HERS® Index Score:

56

Your home's HERS score is a relative performance score. The lower the number, the more energy efficient the home. To learn more, visit www.hersindex.com

Annual Savings

\$7,011

*Relative to an average U.S. home

Home:
2 Simran Rd
West Tisbury, MA 02575

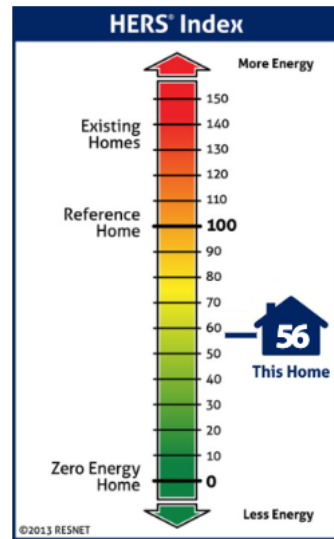
Builder:
Tom O'Brien

Your Home's Estimated Energy Use:

	Use [MBtu]	Annual Cost
Heating	35.9	\$2,524
Cooling	1.1	\$81
Hot Water	3.2	\$224
Lights/Appliances	32.5	\$2,207
Service Charges		\$24
Generation (e.g. Solar)	0.0	\$0
Total:	72.7	\$5,059

This home meets or exceeds the criteria of the following:

2018 International Energy Conservation Code



Home Feature Summary:

Home Type:	Single family detached
Model:	N/A
Community:	N/A
Conditioned Floor Area:	4,874 ft ²
Number of Bedrooms:	5
Primary Heating System:	Air Source Heat Pump • Electric • 11 HSPF
Primary Cooling System:	Air Source Heat Pump • Electric • 16.5 SEER
Primary Water Heating:	Residential Water Heater • Electric • 3.7 Energy Factor
House Tightness:	3 ACH50
Ventilation:	100 CFM • 45 Watts
Duct Leakage to Outside:	Untested Forced Air
Above Grade Walls:	R-21
Ceiling:	Vaulted Roof, R-49
Window Type:	U-Value: 0.28, SHGC: 0.29
Foundation Walls:	N/A
Framed Floor:	R-39

Rating Completed by:

Energy Rater: Kenneth Bailey
RESNET ID: 0004237

Rating Company: HERSmv
60 Halcyon Way, Vineyard Haven, MA. 02568
5085255253

Rating Provider: Performance Systems Development
950 Danby Rd, Ste 201P, Ithaca NY 14850
607-277-6240

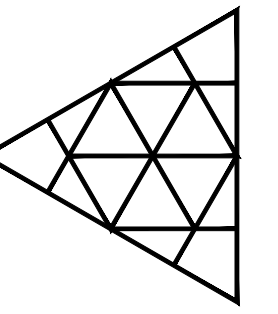
Kenneth Bailey, Certified Energy Rater
Digitally signed: 12/13/22 at 5:06 PM



Energy savings calculated without modifications to the energy model. (As Modeled)

Ekotrope RATER - Version:4.0.2.3051
The Energy Rating Disclosure for this home is available from the Approved Rating Provider.
This report does not constitute any warranty or guarantee.

WEBSTER RESIDENCE



(E) FRAMING NOTE

CONTRACTOR TO FIELD VERIFY THAT EXISTING FRAMING IS IN GENERAL CONFORMANCE WITH THE APPROVED STRUCTURAL DRAWINGS AND SHALL NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES

SOIL CLASSIFICATION NOTE

ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

EXPOSED FRAMING NOTE

ALL EXPOSED WOOD DECK FRAMING (i.e. JOISTS, BEAMS, POSTS, ETC.) TO BE PRESSURE TREATED. (U.N.O.)

DRAINAGE NOTE

ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDINGS EDGE

RECESSED LIGHTING NOTE

CONTRACTOR TO LAYOUT ALL ROOF RAFTERS, CEILING, FLOOR & DECK JOIST IN COORDINATION WITH RECESSED LIGHTING LAYOUT SHOWN IN ARCH'L DRAWINGS.

FLOOR / DECK NOTE

CONTRACTOR TO INSTALL FULL-DEPTH BRIDGING OR BLOCKING @ 1/3 SPANS FOR ALL FLOOR/DECK JOIST WITH SPANS GREATER THAN 14'-0".

BASEMENT WALL NOTE

1. OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF SLAB
2. OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF FLOOR FRAMING.

LARGE DOORS / WINDOWS

CONTRACTOR TO ENSURE ALL FINISHES HAVE BEEN INSTALLED/LOADED PRIOR TO INSTALL OF DOORS/WINDOWS WITH OPENINGS LARGER THAN 12'-0" (ALL TRUE GLASS CORNERS) OR PROVIDE GLAZING INSTALLER ACCESS TO BOTH THE TOP AND BOTTOM OF SAID DOORS/WINDOWS AFTER FINISHES TO ALLOW FOR ANY REQUIRED ADJUSTMENTS.

CONCRETE SLAB-ON-GRADE

USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" W/M OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL. VAPOR BARRIER

EXTERIOR WALL SHEATHING

SHEATH ENTIRE EXTERIOR OF BUILDING.
1/2" MIN. STRUCTURAL 1" SHEATHING (U.N.O.)
10d COMMON NAILS @ 4" O.C. END NAILING (E.N.)
10d COMMON NAILS @ 6" O.C. FIELD NAILING (F.N.)
ALL SHEATHING TO RUN CONT. w/ E.N. TO RIM JOISTS OR SILL PLATES (WHERE OCCURS) @ BTM. OF WALL & TO RIM JOISTS OR RAFTER/JOIST BLK'G. @ TOP OF WALL.

DECK SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

FLOOR SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

ROOF SHEATHING

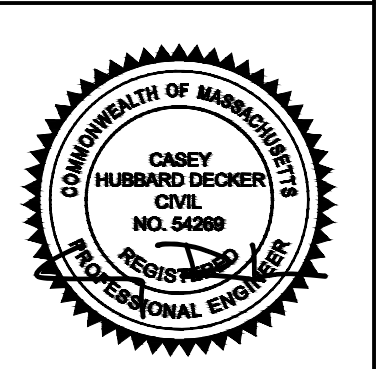
19/32" APA-RATED SHEATHING, EXPOSURE 1, 24" MIN. SPAN RATING,
8d COMMON NAILS @ 6" O.C. B.N. & E.N.
8d COMMON NAILS @ 12" O.C. INT. FRAMING

STRUCTURAL LEGEND

- POST BELOW
- POST ABOVE
- TIMBER FRAMING
- ENGINEERED LUMBER
- CONCRETE
- PLYWOOD SHEATHING
- STRUCTURAL STEEL
- REBAR
- STEEL SHEARWALLS & CONNECTORS

CHECK	DATE	ISSUED FOR
DRAWN	TLS	PERMIT SET
CHD	11/26/22	CONSTRUCTION SET
CHD	TLS	
CHD	12/7/22	

MARTHA'S VINEYARD
ENGINEERING & DESIGN
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE:
SEE PLANS

JOB NUMBER:
22068

PROJECT:
WEBSTER RESIDENCE
2 SIMRAN RD,
WEST TISBURY, MA 02575

SHEET TITLE:
STRUCTURAL NOTES & SCHEDULES

DATE:
7 DEC 2022

S.01

DESIGN CRITERIA

- BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE (MSBC) & THE INTERNATIONAL RESIDENTIAL CODE EDITION 2015 (IRC)
- LOADS:

	DEAD	LIVE / SNOW
a) ROOF	15 PSF	25 PSF
b) FLOOR	15 PSF	40 PSF
c) DECK	15 PSF	60 PSF
- WIND LOADS:
 - BASIC WIND SPEED = 140 mph - EXPOSURE B AS PER MSBC
- METAL CONNECTOR CLIPS TO BE PROVIDED & INSTALLED AS PER THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) AS DESCRIBED IN R301.2.1.1 DESIGN CRITERIA
- MINIMUM DEFLECTIONS OF HORIZONTAL STRUCTURAL MEMBERS:
 - FLOOR MEMBERS L/360
 - ROOF MEMBERS L/240
- CONCRETE MINIMUM 28-DAY COMPRESSIVE STRENGTH, f'c
 - FOOTINGS 3,000 psi
 - FOUNDATIONS WALLS 3,000 psi
 - SLAB ON GRADE 3,000 psi
 - HONEY-COMBING, SPALLS, CRACKS, ETC. SHALL BE REPORTED TO THE STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF SYSTEMS NOT SHOWN IN STRUCTURAL PLANS.
- MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODES
- FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DOCUMENTS, REFER TO ARCHITECTURAL DOCUMENTS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. TEMPORARY SHORING & SUPPORT MAY BE REQUIRED DURING INTERMEDIATE STAGES OF CONSTRUCTION.

WIND DESIGN CRITERIA

- BUILDING CODE: SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC EDITION 2015 (SDPWS)
- FRAMING REQUIREMENTS: ALL FRAMING MEMBERS AND BLOCKING USED FOR SHEAR WALL CONSTRUCTION SHALL BE 2" NOMINAL OR GREATER.
- SHEATHING REQUIREMENTS:
 - SHEATHING SHALL BE ATTACHED USING NAILS OR OTHER APPROVED FASTENERS. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH TO THE SURFACE OF THE SHEATHING.
 - PANELS SHALL NOT BE LESS THAN 4' x 8' EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING.
 - NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE

GLOSSARY

ALT - ALTERNATING	MAX - MAXIMUM
ARCH - ARCH'L - ARCHITECT / ARCHITECTURAL	MIN - MINIMUM
B/ - BOTTOM	MSBC - MASSACHUSETTS STATE BUILDING CODE
B/W - BOTH WAYS	MSL - MEAN SEA LEVEL
B.N. - BOUNDARY NAILING	(N) - NEW
BLK'G - BLOCKING	OC - ON CENTER
BM - BEAM	PCF - POUNDS PER CUBIC FOOT
BP - BASE PLATE	PL - PLATE
C.J. - CEILING JOIST	PLF - POUNDS PER LINEAR FOOT
CL - CENTER LINE	PLY - PLYWOOD
COL - COLUMN	PORT - PORTLAND CEMENT
CONN - CONNECT	PSF - POUNDS PER SQUARE FOOT
D.J. - DECK JOIST	PSI - POUNDS PER SQUARE INCH
DEV - DEVELOPMENT	PSL - PARALLEL STRAND LUMBER
DIA - Ø - DIAMETER	PT - PRESSURE TREATED
DIR - DIRECTION	REINF - REINFORCED / REINFORCEMENT
DN - DOWN	RET - RETAINING
EA - EACH	REQ'D - REQUIRED
ECT - ETCETERA	RO - ROUGH OPENING
ELEV - ELEVATION	R.R. - ROOF RAFTER
EMBED - EMBEDDED	SF - SUBFLOOR
E.N. - END NAILING	STAGG - STAGGERED
ENG - ENGINEER	STR - STRUCTURAL
EQ - EQUALLY	T/ - TOP
EXIST - (E) - EXISTING	T/B - TOP AND BOTTOM
EXT - EXTERIOR	T&G - TONGUE AND GROVE
F.J. - FLOOR JOIST	TBD - TO BE DETERMINED
F.N. - FIELD NAILING	TBR - TO BE REMOVED
FF - FINISH FLOOR	TJI - ENGINEERED I-JOIST
FG - FINISH GRADE	TP - TOP PLATE
FOUND - FOUNDATION	TYP - TYPICAL
GALV - GALVANIZED	VERT - VERTICAL
GLB - GLULAM BEAM	VIF - VERIFY IN FIELD
HDR - HEADER	w/ - WITH
HORIZ - HORIZONTAL	
IBC - INTERNATIONAL BUILDING CODE	
IEBC - INTERNATIONAL EXISTING BUILDING CODE	
INT - INTERIOR	
IRC - INTERNATIONAL RESIDENTIAL CODE	
KIP - K - 1000 POUNDS	
LB - POUND	
LSL - LAMINATED STRAND LUMBER	

HOLDOWN SCHEDULE

SYMBOL	HOLDOWN DEVICE	VALUE
A	(2)-2x STUD w/ "MSTC40" FLOOR-TO-FLOOR HOLDOWN	2,655 LBS
B	(2)-2x STUD w/ "MSTC52" FLOOR-TO-FLOOR HOLDOWN	3,985 LBS
C	(2)-2x STUD w/ "MSTC66" FLOOR-TO-FLOOR HOLDOWN	5,850 LBS
D	(2)-2x STUD w/ "MSTC48B3" FLOOR-TO-FLOOR HOLDOWN	3,900 LBS
E	(2)-2x STUD w/ "MSTC66B3" FLOOR-TO-FLOOR HOLDOWN	4,490 LBS
F	(2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "LSTHD10" / "LSTHD10RJ"	2,215 LBS
G	(2)-2x STUD w/ "HDU4" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "LSTHD14" / "LSTHD14RJ"	3,285 LBS
H	(2)-2x STUD w/ "HDU5" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.)	4,340 LBS
J	(2)-2x STUD w/ "HDU8" HOLD-DOWN w/ "SB7/8x24" (7/8"Ø A.B.)	5,820 LBS
K	4 x 6 POST w/ "HDU1" HOLD-DOWN w/ "SB1x24" (1"Ø A.B.)	8,030 LBS
L	6 x 6 POST w/ "HDU4" HOLD-DOWN w/ "SB1x24" (1"Ø A.B.)	12,425 LBS
M	(2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "LSTHD8" / "LSTHD8RJ"	9,260 LBS

NOTES:

- DEEPEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLDOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
- MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
- MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS. MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.
- USE SCHEDULE FOR MIN. POST SIZES, U.N.O. ON PLAN

SPREAD FOOTING SCHEDULE

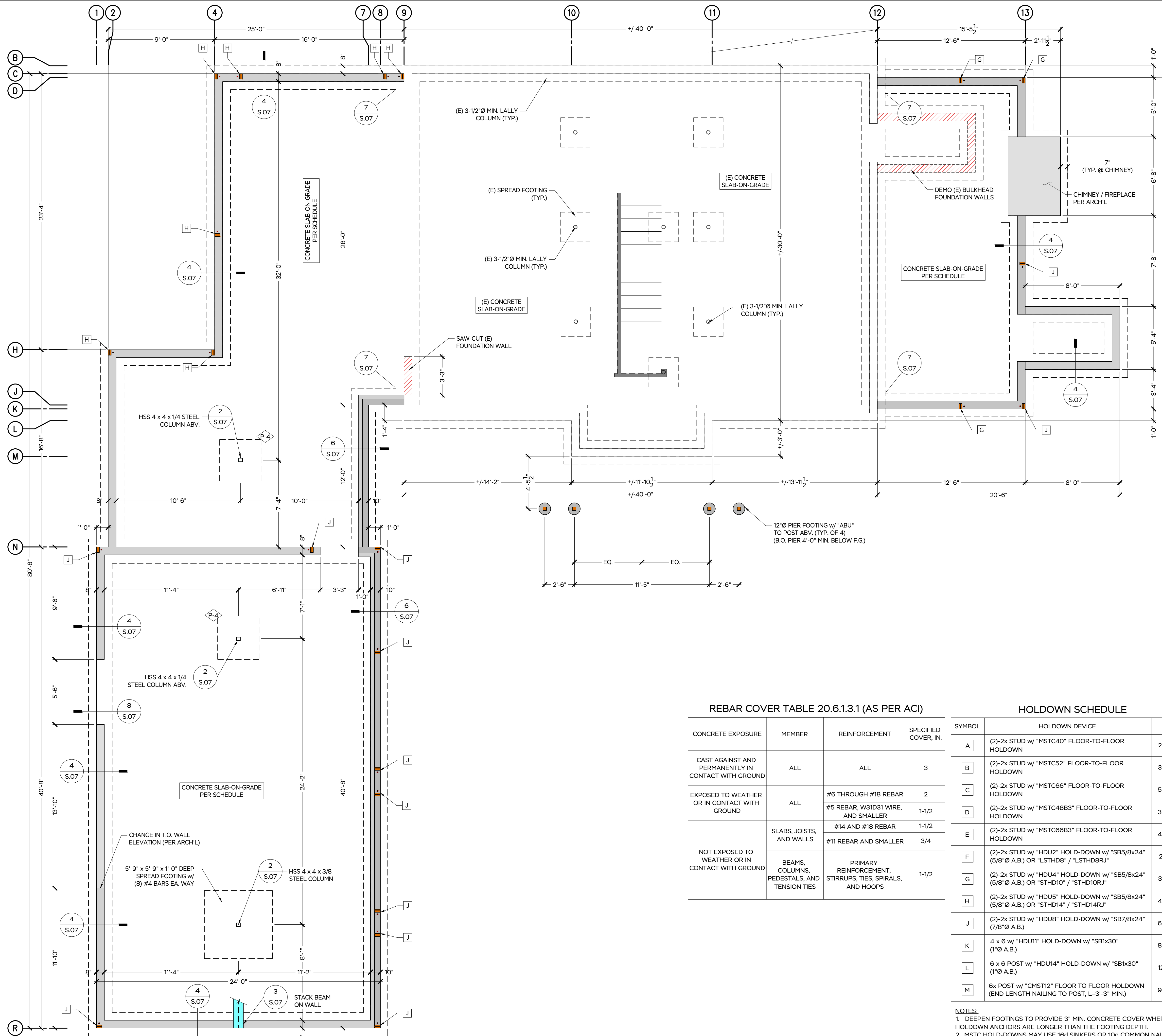
SYMBOL	DIMENSIONS & REINFORCEMENTS
⊠	2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY
⊠	2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY
⊠	3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY
⊠	3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY
⊠	4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
	EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	2
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	#6 THROUGH #18 REBAR	2
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	#5 REBAR, W31D31 WIRE, AND SMALLER	1-1/2
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	#14 AND #18 REBAR	1-1/2
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	#11 REBAR AND SMALLER	3/4
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2

ENGINEERED WOOD SUBSTITUTION CHART

I-JOIST			
MANUFACTURER	TRUS JOIST	NORDIC	BOISE CASCADE
PRODUCT	TJI 110	NI-20	BCI 5000 1.7
	TJI 210	NI-40x	BCI 6000 1.8
	TJI 230	NI-60	BCI 6500 1.8
	TJI 360	NI-80	BCI 60 2.0
TJI 560	NI-90	BCI 90 2.0	
BEAMS			
MANUFACTURER	TRUS JOIST	ANTHONY	BOISE CASCADE
PRODUCT	LVL 2.0E	POWER BEAM (30F-E2 OR 28F-E2)	VERSA-LAM 2.0E
	PSL 2.0E		VERSA-LAM 2.0E
	LSL 1.55E		VERSA-LAM 1.7E
	LSL 1.3E		VERSA-LAM 1.4E



■ EXIST. WALLS TO REMAIN
 ▨ NEW WALLS
 ▨ EXIST WALLS TO BE REMOVED

FOUNDATION PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S01 FOR NOTES AND SCHEDULES

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)			
CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	#6 THROUGH #18 REBAR	2
		#5 REBAR, W31D31 WIRE, AND SMALLER	1-1/2
		#14 AND #18 REBAR	1-1/2
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	#11 REBAR AND SMALLER	3/4
		BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	1-1/2

HOLDOWN SCHEDULE		
SYMBOL	HOLDOWN DEVICE	VALUE
A	(2)-2x STUD w/ "MSTC40" FLOOR-TO-FLOOR HOLDOWN	2,655 LBS
B	(2)-2x STUD w/ "MSTC52" FLOOR-TO-FLOOR HOLDOWN	3,985 LBS
C	(2)-2x STUD w/ "MSTC66" FLOOR-TO-FLOOR HOLDOWN	5,850 LBS
D	(2)-2x STUD w/ "MSTC48B3" FLOOR-TO-FLOOR HOLDOWN	3,900 LBS
E	(2)-2x STUD w/ "MSTC66B3" FLOOR-TO-FLOOR HOLDOWN	4,490 LBS
F	(2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/Bx24" (5/8"Ø A.B.) OR "LSTHD8" / "LSTHDBRJ"	2,215 LBS
G	(2)-2x STUD w/ "HDU4" HOLD-DOWN w/ "SB5/Bx24" (5/8"Ø A.B.) OR "STHD10" / "STHD10RJ"	3,285 LBS
H	(2)-2x STUD w/ "HDU5" HOLD-DOWN w/ "SB5/Bx24" (5/8"Ø A.B.) OR "STHD14" / "STHD14RJ"	4,340 LBS
J	(2)-2x STUD w/ "HDU8" HOLD-DOWN w/ "SB7/Bx24" (7/8"Ø A.B.)	6,580 LBS
K	4 x 6 w/ "HDU1" HOLD-DOWN w/ "SB1x30" (1"Ø A.B.)	8,030 LBS
L	6 x 6 POST w/ "HDU14" HOLD-DOWN w/ "SB1x30" (1"Ø A.B.)	12,425 LBS
M	6x POST w/ "CMST12" FLOOR TO FLOOR HOLDOWN (END LENGTH NAILING TO POST, L=3'-3" MIN.)	9,215 LBS

NOTES:
 1. DEEPEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLD-DOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
 2. MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
 3. MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS. MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.

SOIL CLASSIFICATION NOTE
 ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

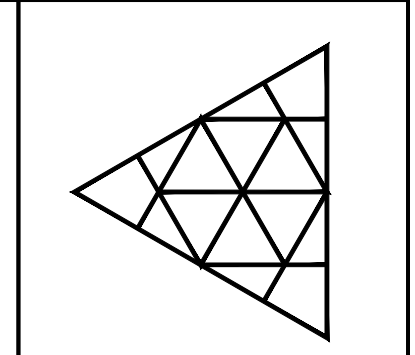
CONCRETE SLAB-ON-GRADE
 USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" WWM OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL. VAPOR BARRIER

DRAINAGE NOTE
 ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDING'S EDGE

BASEMENT WALL NOTE
 1. OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF SLAB
 2. OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF FLOOR FRAMING.

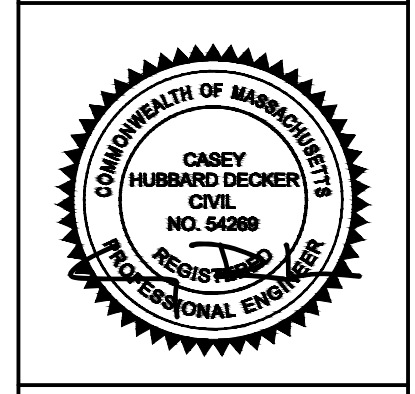
SPREAD FOOTING SCHEDULE	
SYMBOL	DIMENSIONS & REINFORCEMENTS
P-1	2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY
P-2	2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY
P-3	3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY
P-4	3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY
P-5	4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY

STRUCTURAL LEGEND	
⊠	POST BELOW
□	POST ABOVE
▨	TIMBER FRAMING
▨	ENGINEERED LUMBER
▨	CONCRETE
▨	PLYWOOD SHEATHING
▨	STRUCTURAL STEEL
▨	REBAR
▨	STEEL SHEARWALLS & CONNECTORS



ISSUED FOR	DATE	DRAWN	CHECK
PERMIT SET	11.26.22	TLS	CHD
CONSTRUCTION SET	12.7.22	TLS	CHD

MARTHA'S VINEYARD ENGINEERING & DESIGN
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE: **SEE PLANS**

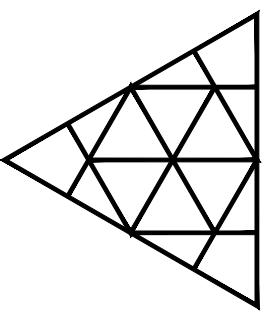
JOB NUMBER: **22068**

PROJECT: **WEBSTER RESIDENCE**
2 SIMRAN RD,
WEST TISBURY, MA 02575
 SHEET TITLE: **FOUNDATION PLAN**

DATE: **7 DEC 2022**

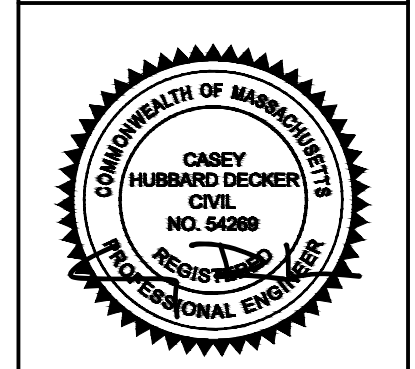
S.02

SCALE: 1/4" = 1'-0"



ISSUED FOR	CHECK	CHD
	DRAWN	CHD
DATE	TLS	TLS
	TLS	TLS
ISSUED FOR	PERMIT SET	CONSTRUCTION SET

**MARTHA'S VINEYARD
ENGINEERING & DESIGN**
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE:
SEE PLANS

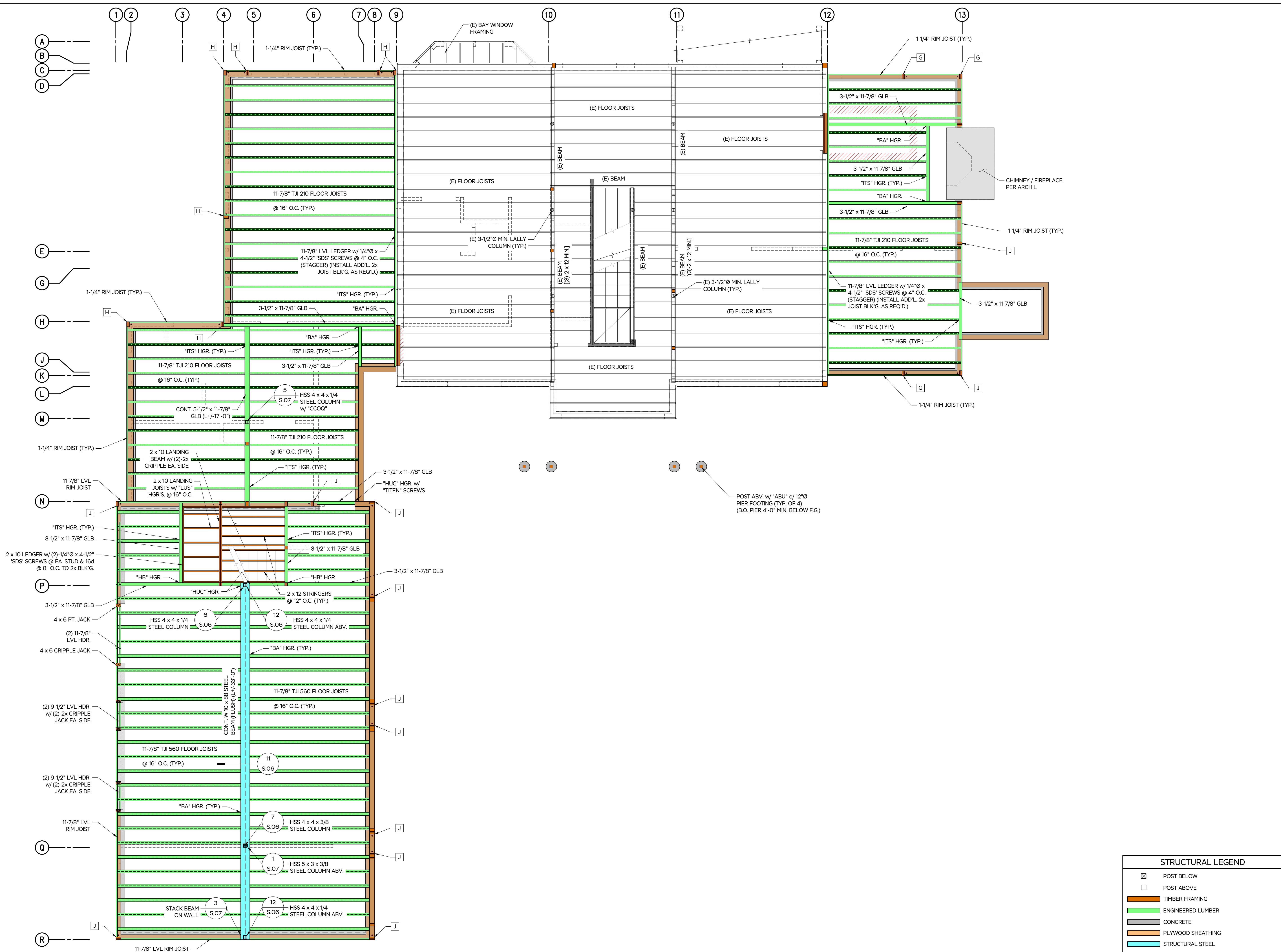
JOB NUMBER:
22068

PROJECT:
**WEBSTER RESIDENCE
2 SIMRAN RD,
WEST TISBURY, MA 02575**

SHEET TITLE:
**1st FLOOR FRAMING /
UPPER FOUNDATION PLAN**

DATE:
7 DEC 2022

S.03

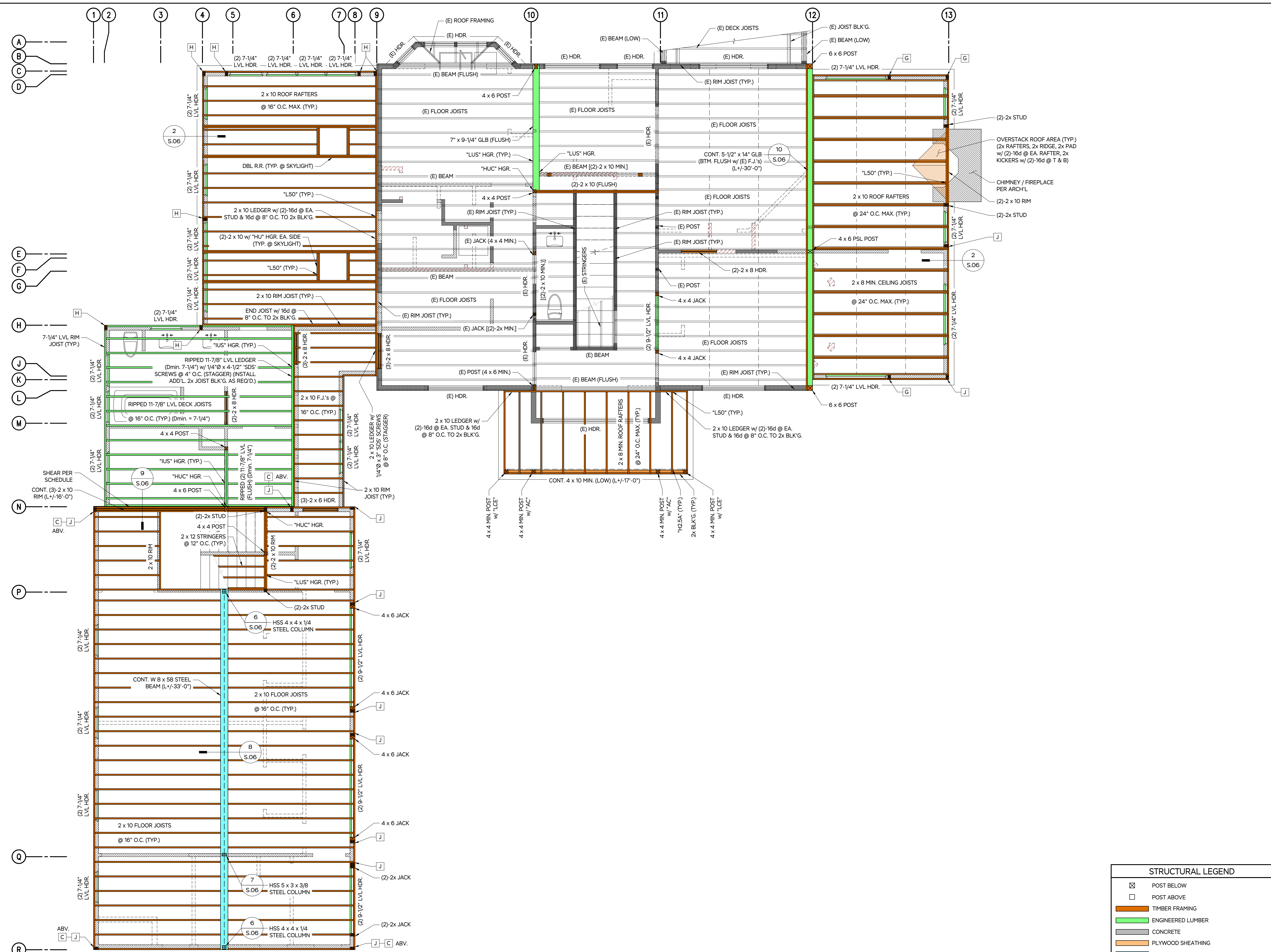


STRUCTURAL LEGEND	
	POST BELOW
	POST ABOVE
	TIMBER FRAMING
	ENGINEERED LUMBER
	CONCRETE
	PLYWOOD SHEATHING
	STRUCTURAL STEEL
	REBAR
	STEEL SHEARWALLS & CONNECTORS

1ST FLOOR FRAMING / UPPER FOUNDATION PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE SOT FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"

EXIST. WALLS TO REMAIN
NEW WALLS
EXIST WALLS TO BE REMOVED



1 2 3 4 5 6 7 8 9 10 11 12 13

A B C D

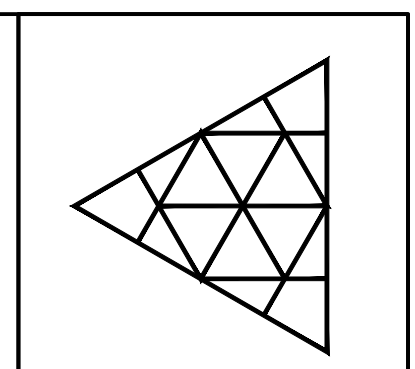
E F G H J K L M N P Q R

EXIST. WALLS TO REMAIN
 NEW WALLS
 EXIST. WALLS TO BE REMOVED

2ND FLOOR / LOWER ROOF FRAMING PLAN
 VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S.01 FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"

STRUCTURAL LEGEND	
	POST BELOW
	POST ABOVE
	TIMBER FRAMING
	ENGINEERED LUMBER
	CONCRETE
	PLYWOOD SHEATHING
	STRUCTURAL STEEL
	REBAR
	STEEL SHEARWALLS & CONNECTORS



ISSUED FOR	DATE	DRAWN	CHECK
PERMIT SET <td>11/28/22 <td>TLS <td>CHD</td> </td></td>	11/28/22 <td>TLS <td>CHD</td> </td>	TLS <td>CHD</td>	CHD
CONSTRUCTION SET <td>12/7/22 <td>TLS <td>CHD</td> </td></td>	12/7/22 <td>TLS <td>CHD</td> </td>	TLS <td>CHD</td>	CHD

MARTHA'S VINEYARD
ENGINEERING & DESIGN
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE:
SEE PLANS

JOB NUMBER:
22068

PROJECT:
**WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575**

SHEET TITLE:
**2ND FLOOR / LOWER
 ROOF FRAMING PLAN**

DATE:
7 DEC 2022

S.04

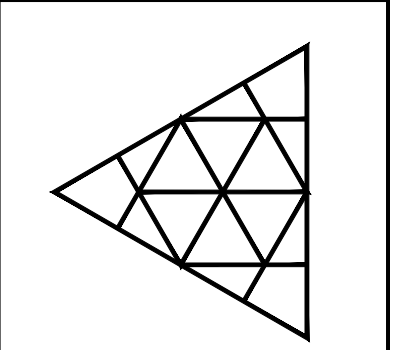


■ EXIST. WALLS TO REMAIN
 ▨ NEW WALLS
 ▨ EXIST. WALLS TO BE REMOVED

UPPER ROOF FRAMING PLAN
 VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S.01 FOR NOTES AND SCHEDULES

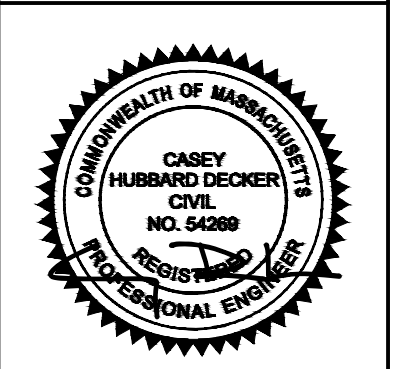
SCALE: 1/4" = 1'-0"

STRUCTURAL LEGEND	
⊠	POST BELOW
□	POST ABOVE
▨	TIMBER FRAMING
▨	ENGINEERED LUMBER
▨	CONCRETE
▨	PLYWOOD SHEATHING
▨	STRUCTURAL STEEL
▨	REBAR
▨	STEEL SHEARWALLS & CONNECTORS



ISSUED FOR	DATE	DRAWN	CHECK
PERMIT SET	11/28/22	TLS	CHD
CONSTRUCTION SET	12/7/22	TLS	CHD

**MARTHA'S VINEYARD
 ENGINEERING & DESIGN**
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8635 INFO@MYENGINEERING.DESIGN



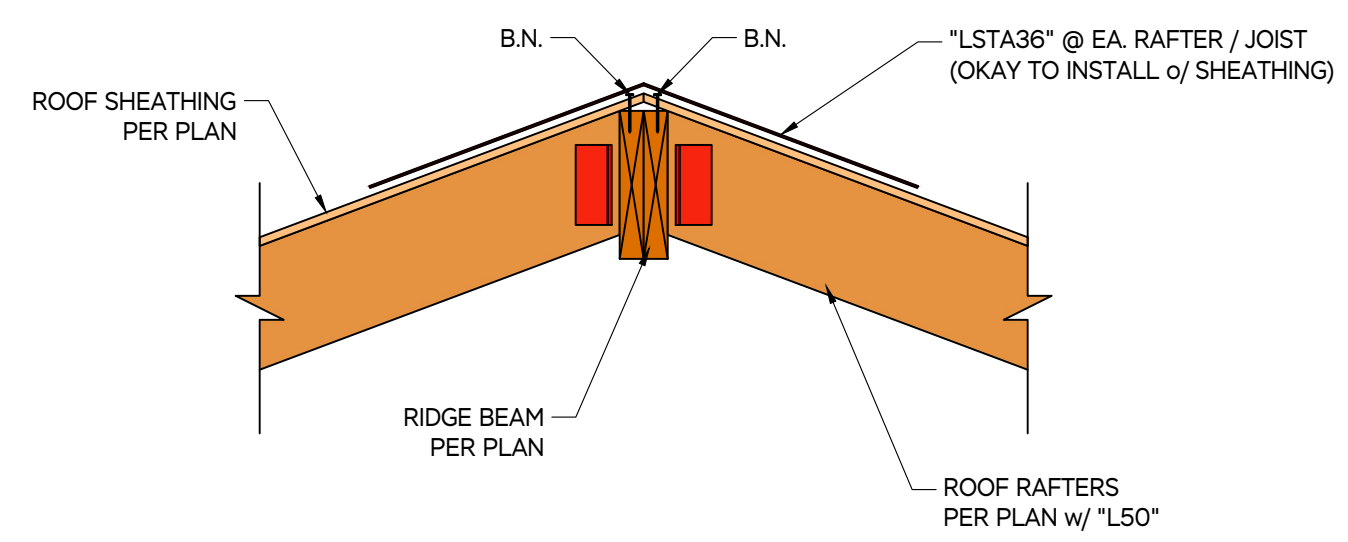
SCALE: SEE PLANS

JOB NUMBER: 22068

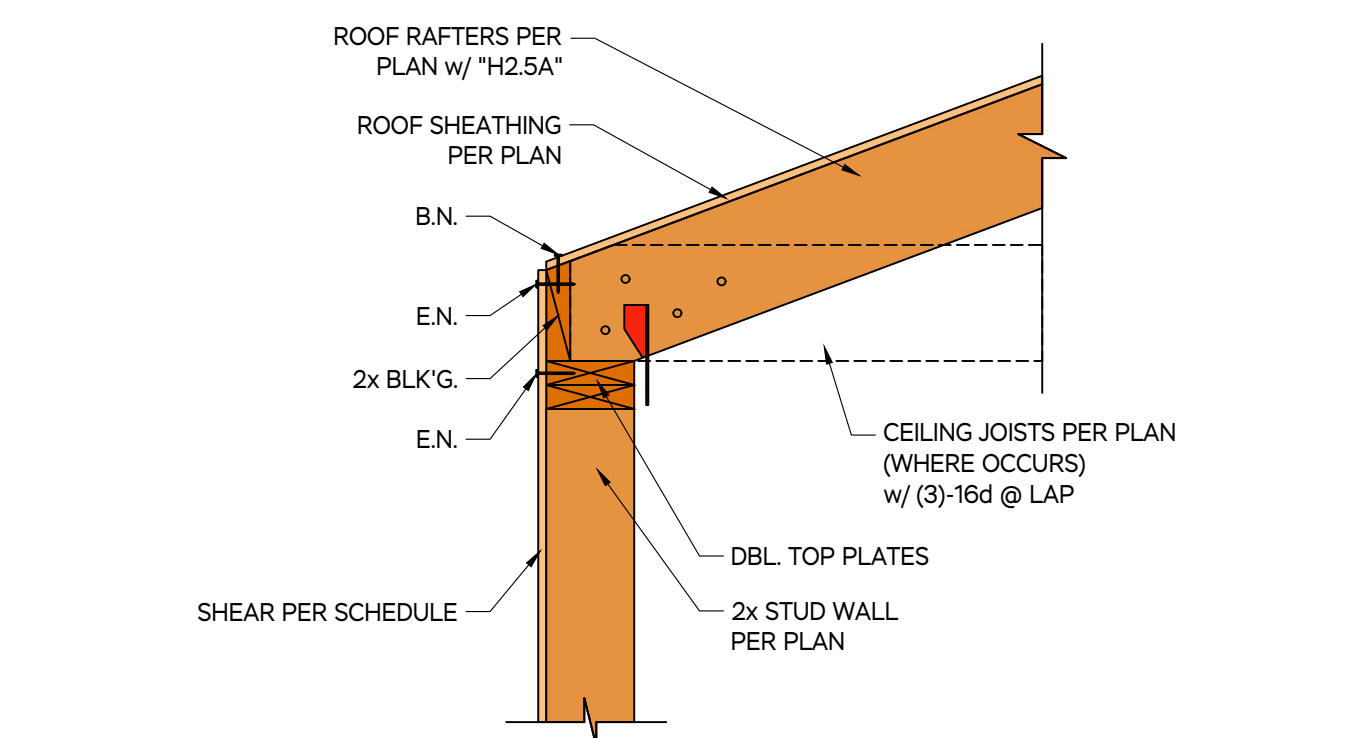
PROJECT: WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575
 SHEET TITLE: 2ND FLOOR / LOWER ROOF
 FRAMING PLAN &
 UPPER ROOF FRAMING PLAN

DATE: 7 DEC 2022

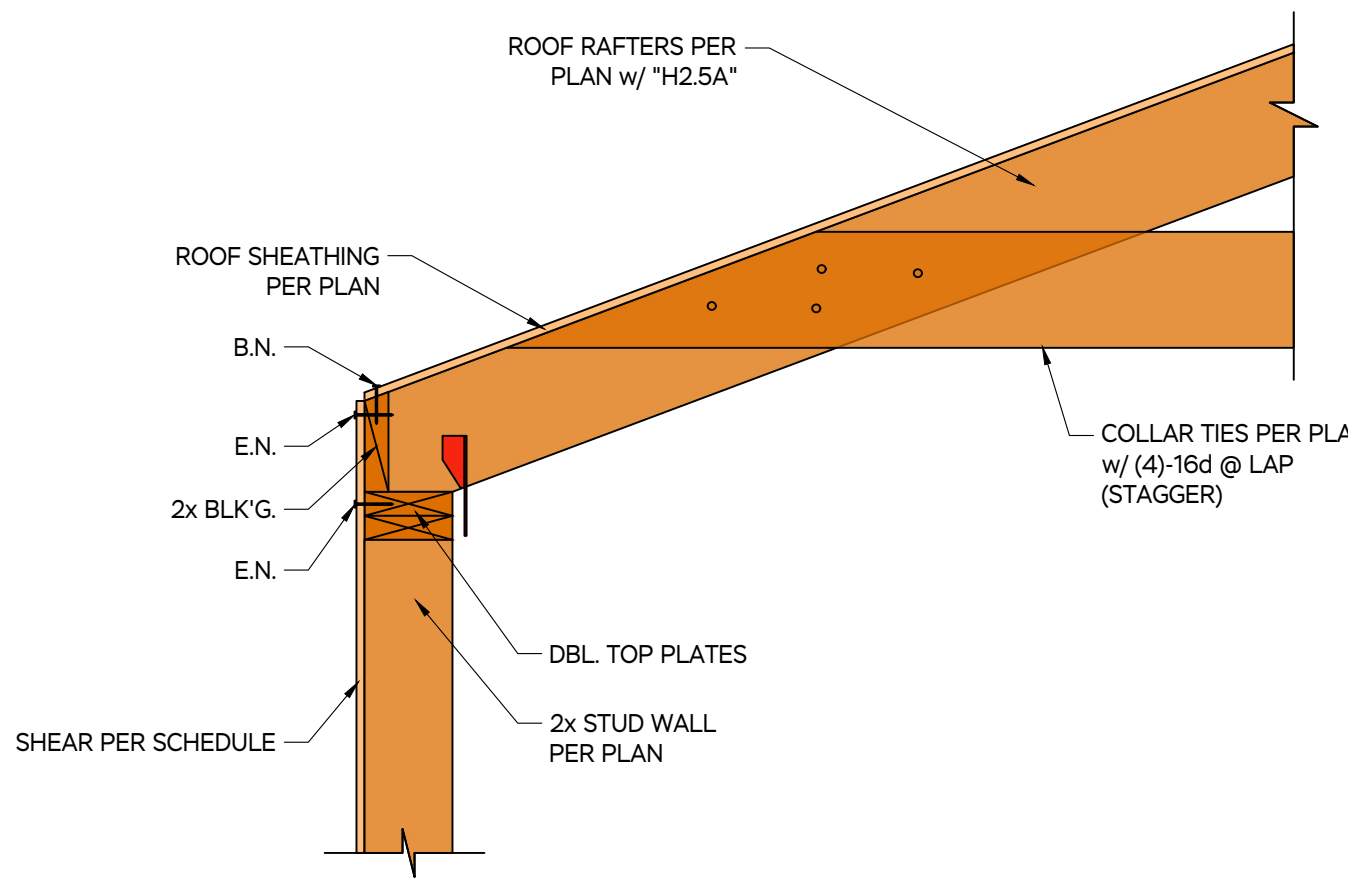
S.05



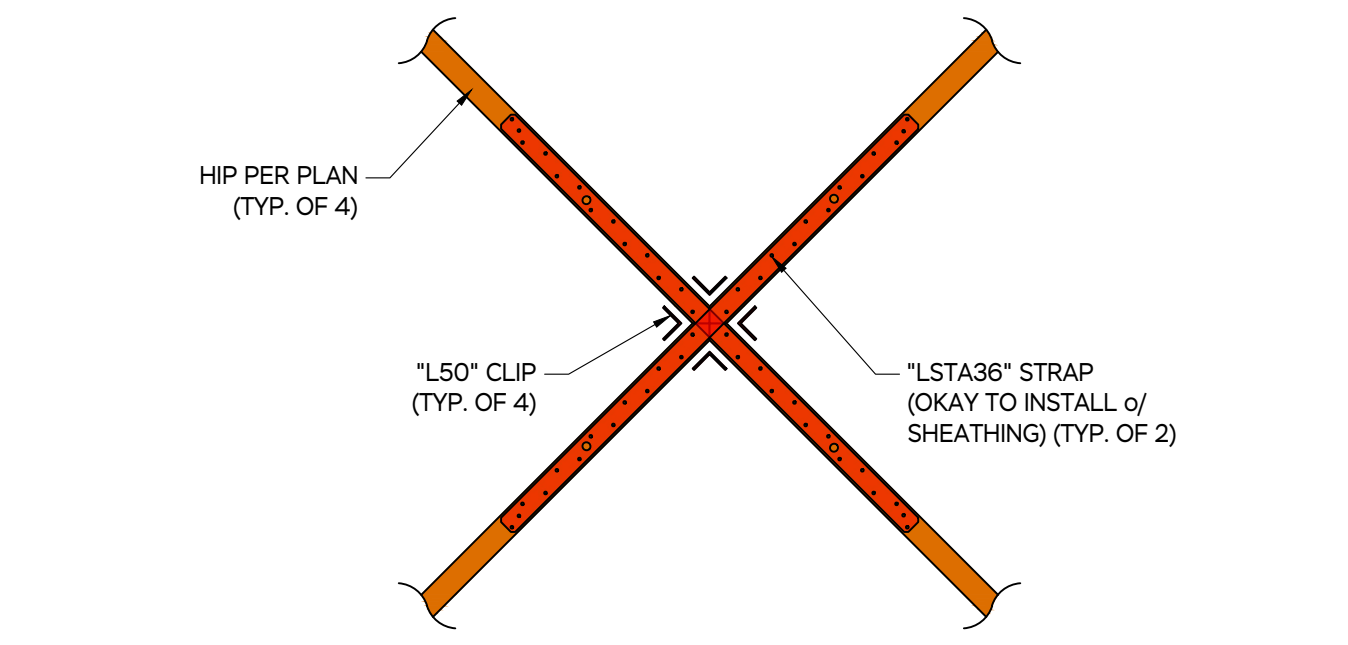
1 CONNECTION DETAIL NOT TO SCALE



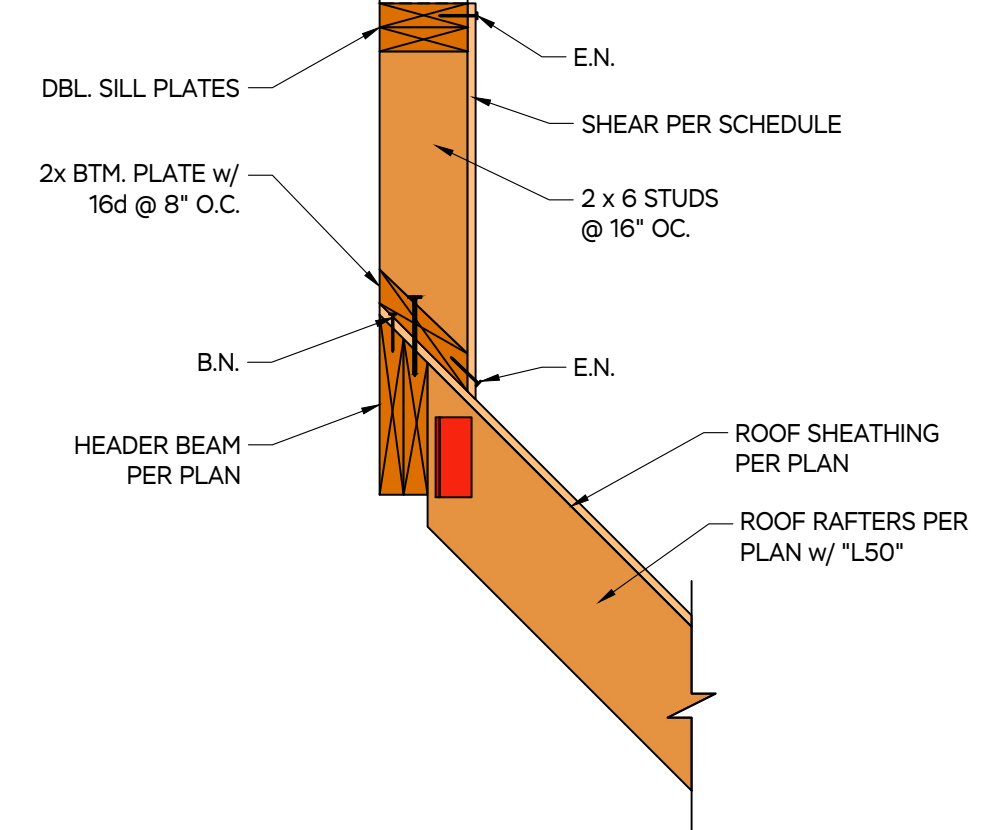
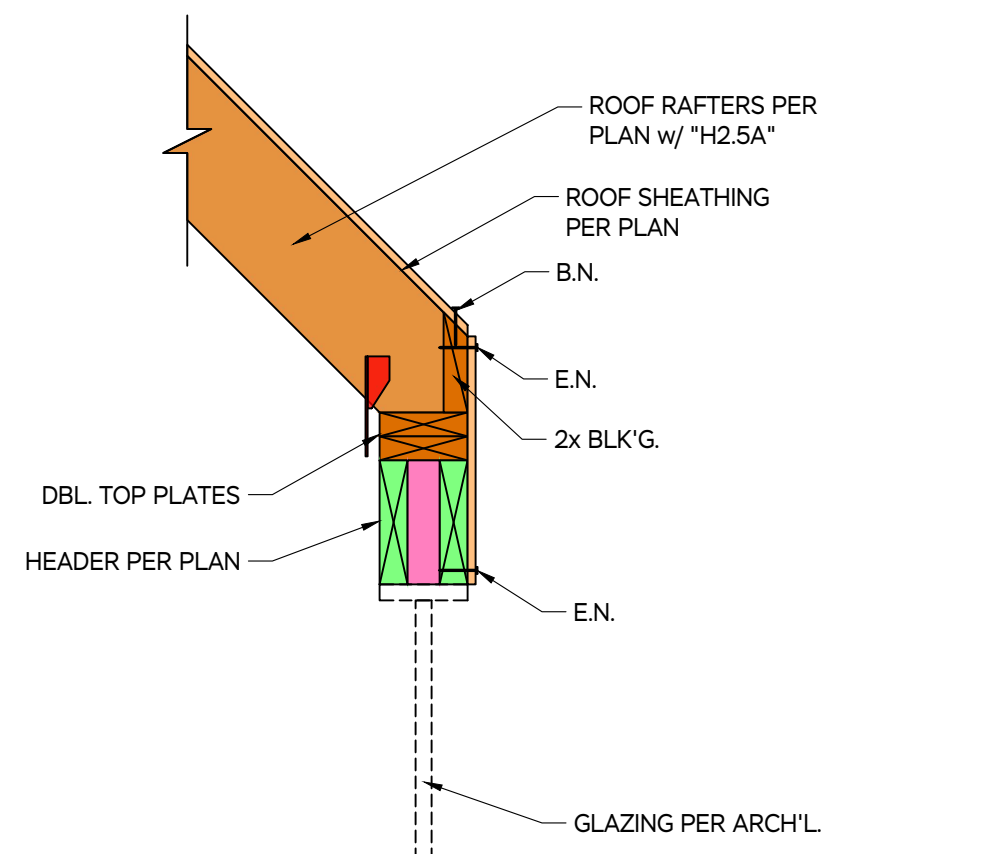
2 SHEAR TRANSFER DETAIL NOT TO SCALE



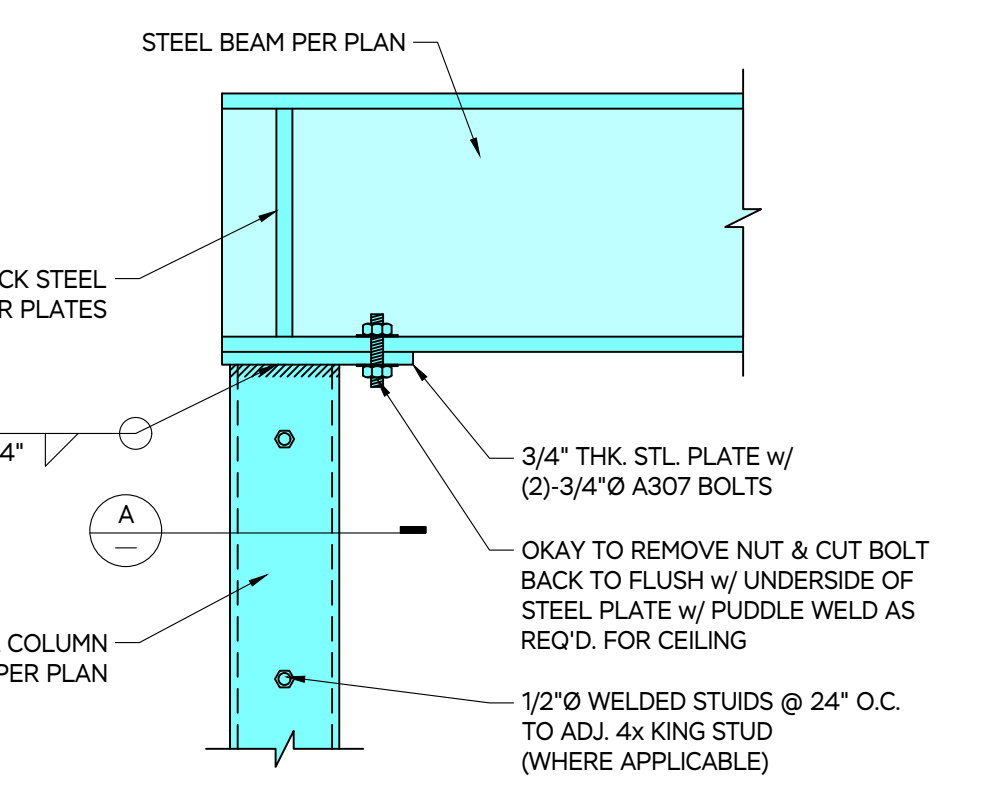
3 SHEAR TRANSFER DETAIL NOT TO SCALE



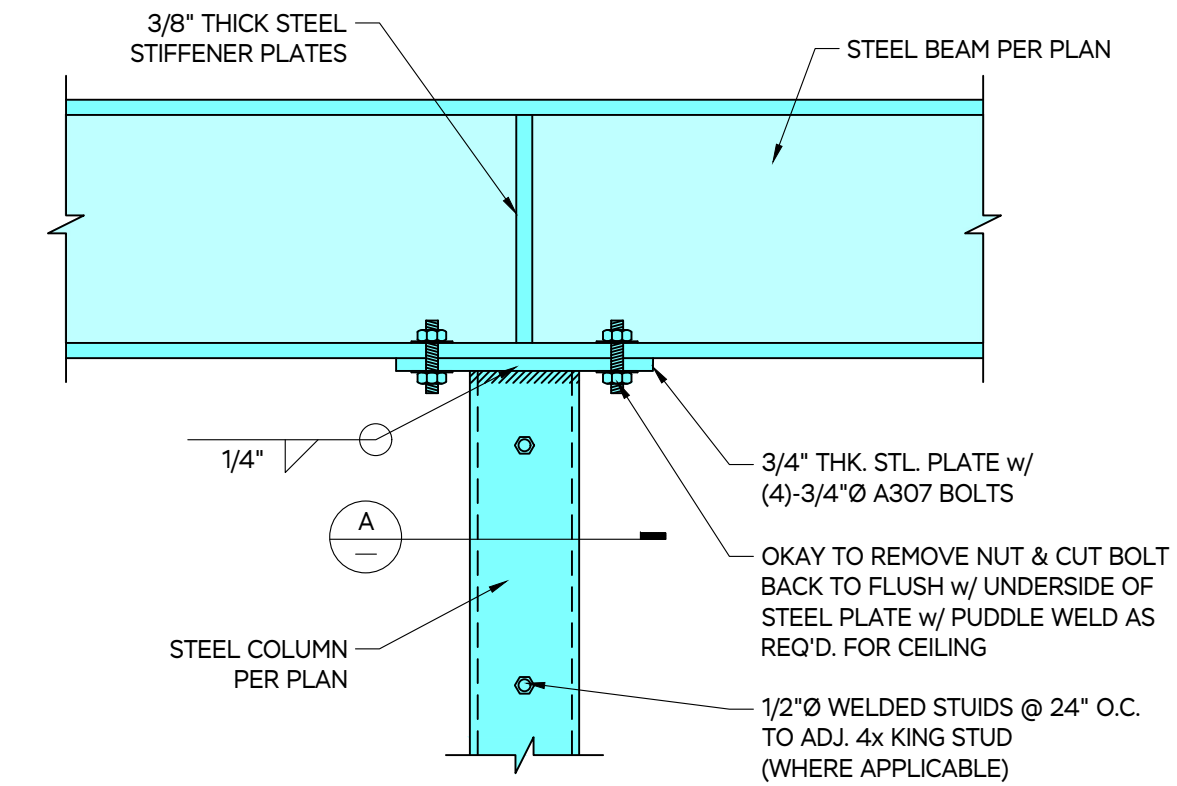
4 CONNECTION DETAIL NOT TO SCALE



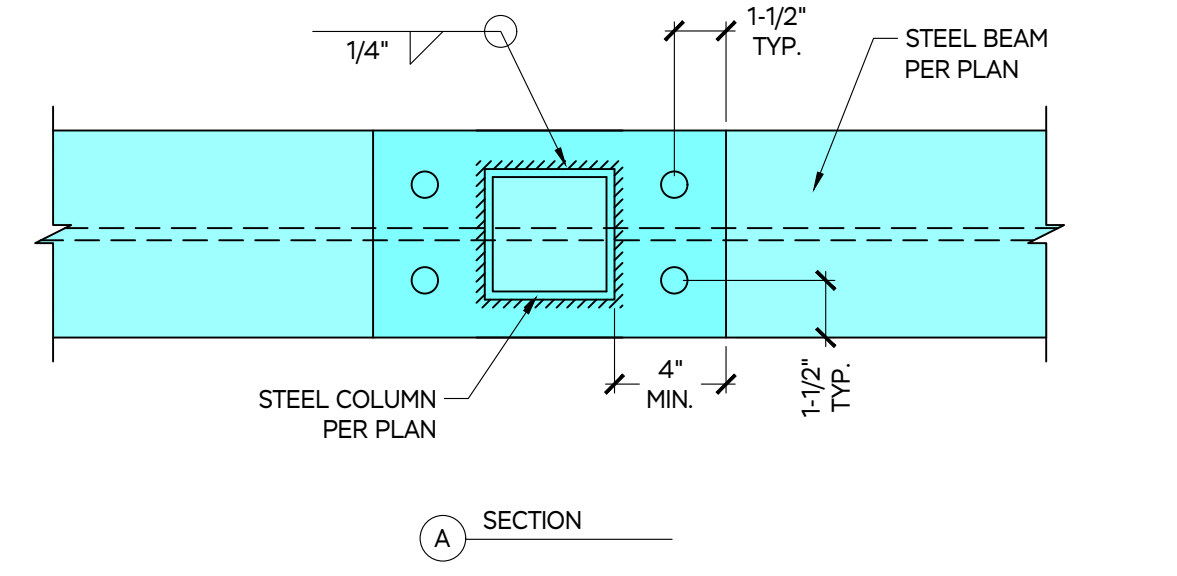
5 CONNECTION DETAIL NOT TO SCALE



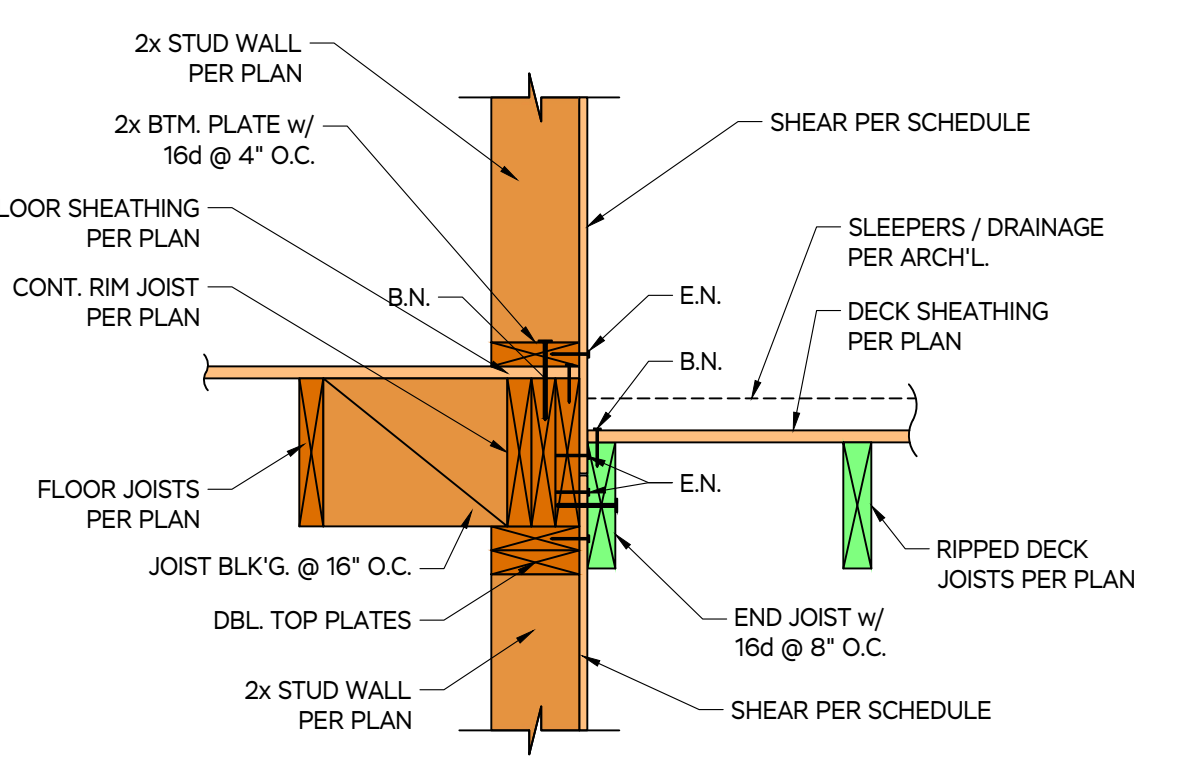
6 STEEL CONNECTION DETAIL NOT TO SCALE



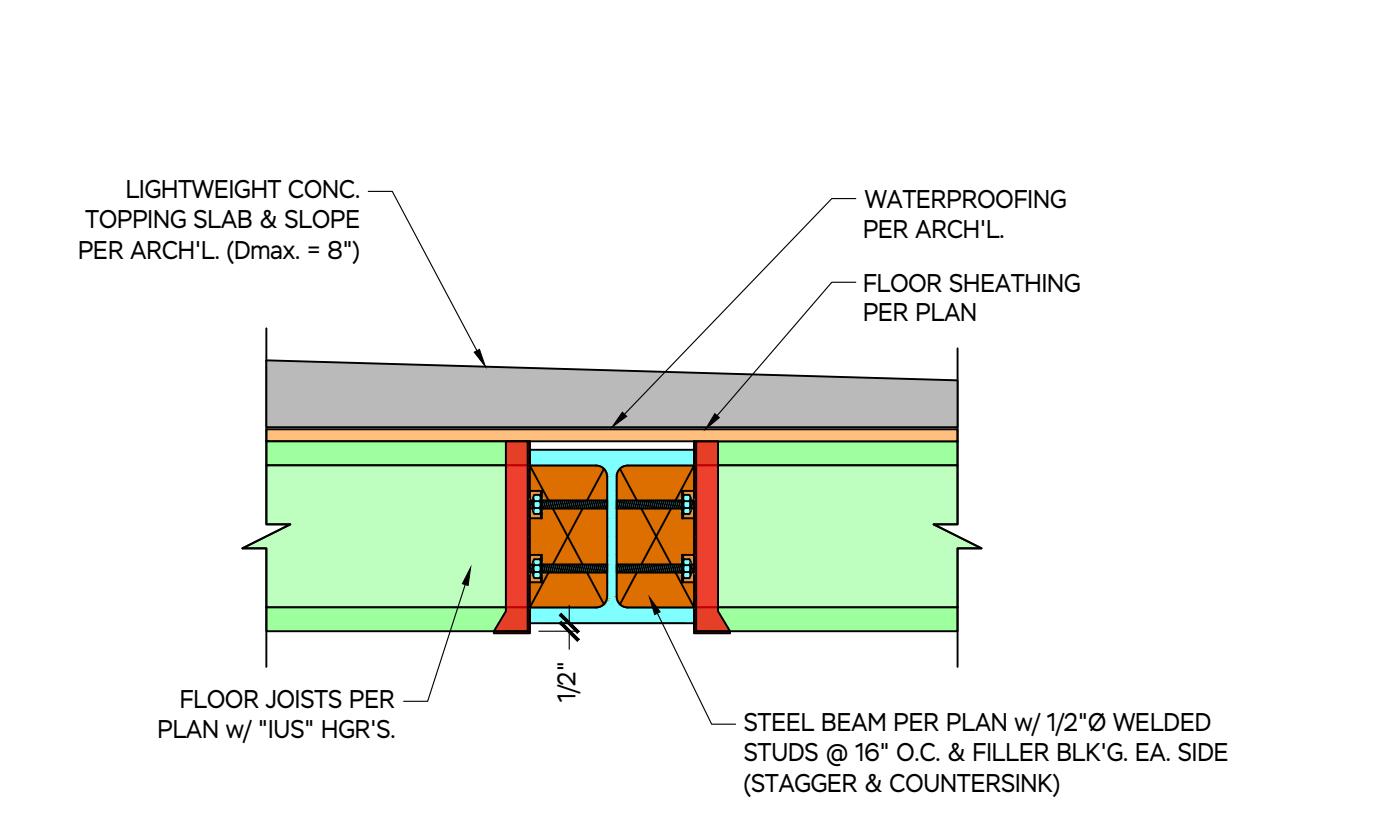
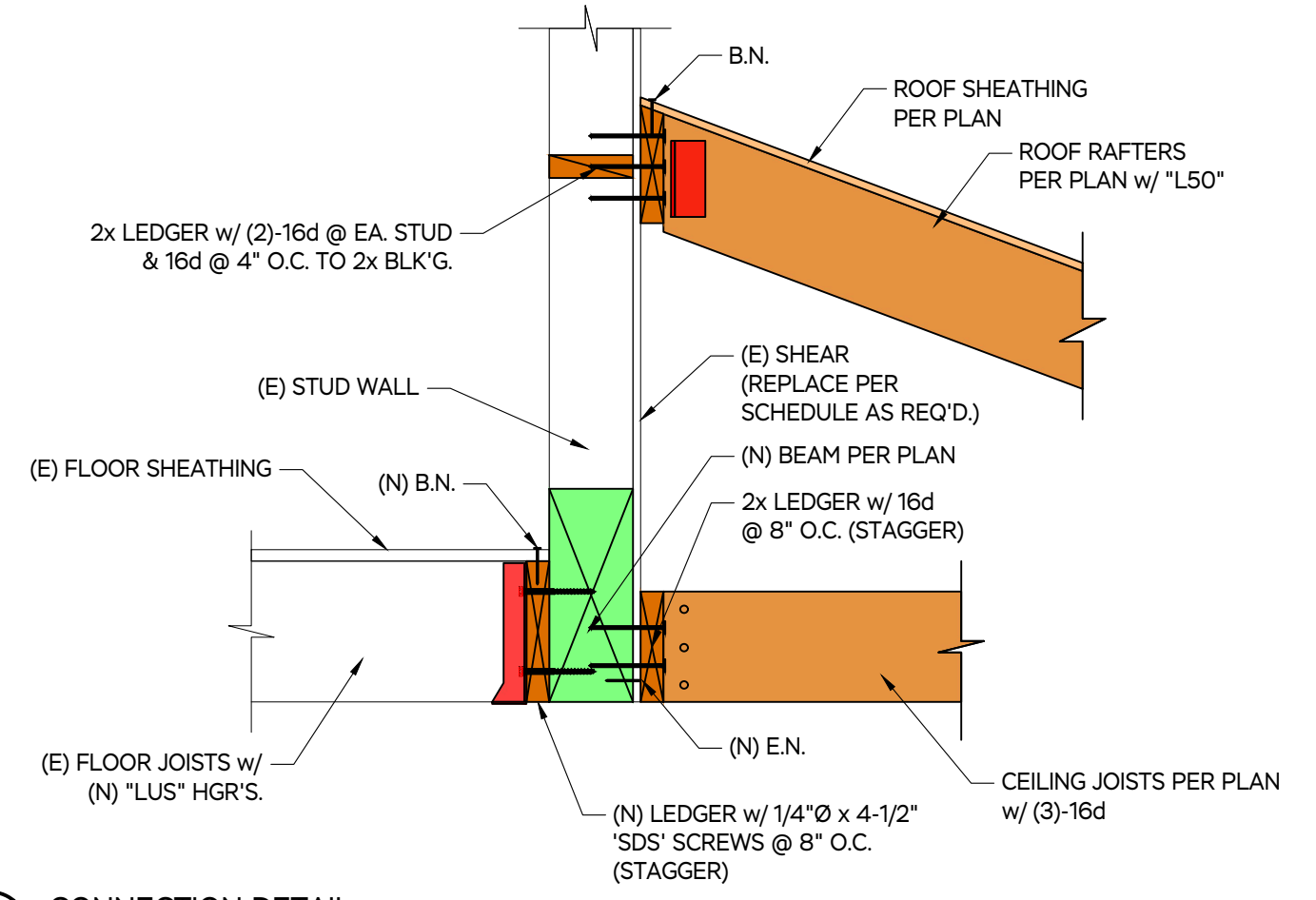
7 STEEL CONNECTION DETAIL NOT TO SCALE



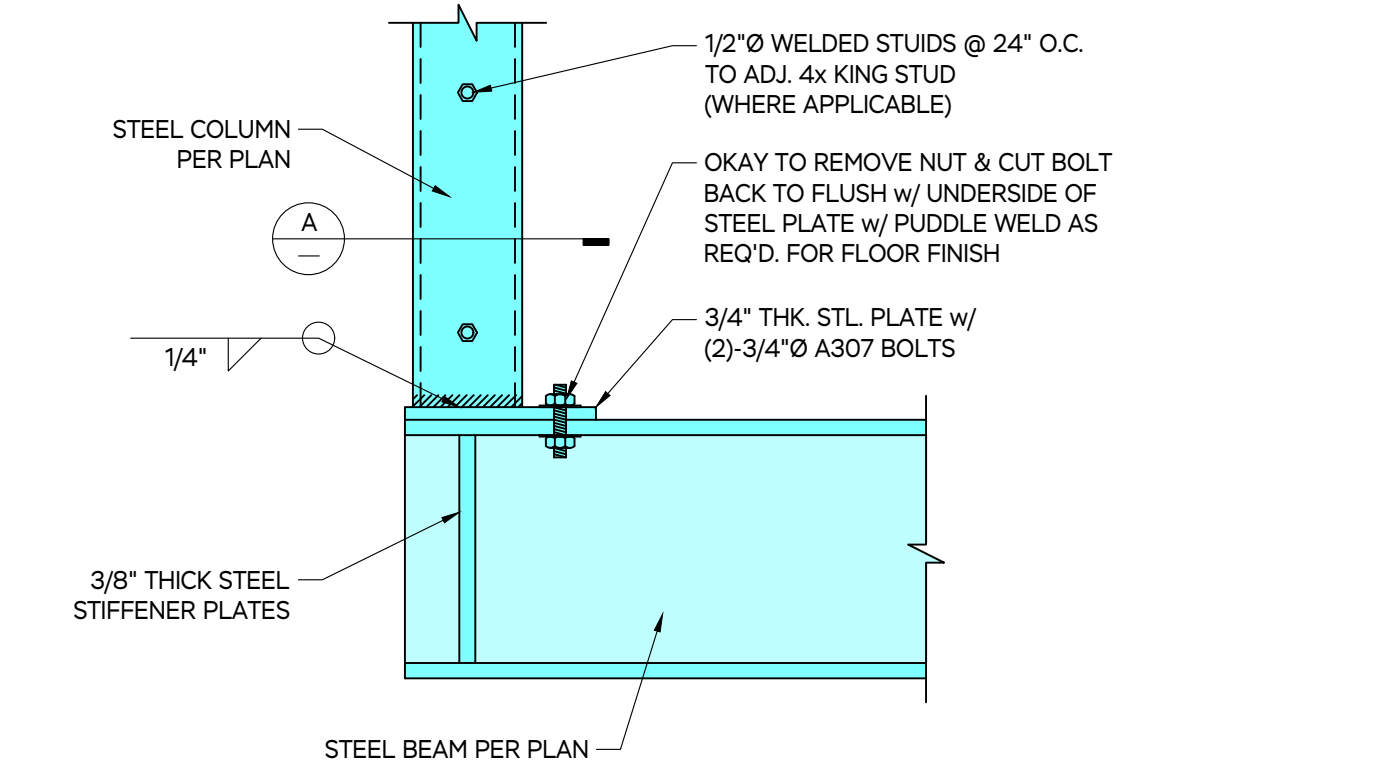
8 STEEL CONNECTION DETAIL NOT TO SCALE



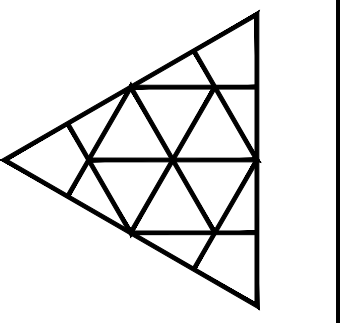
9 SHEAR TRANSFER DETAIL NOT TO SCALE



11 STEEL CONNECTION DETAIL NOT TO SCALE

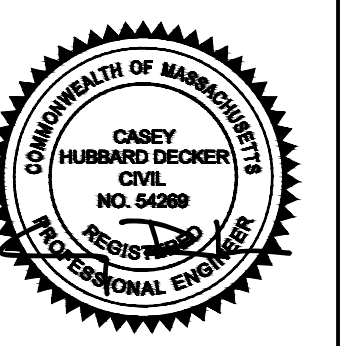


12 STEEL CONNECTION DETAIL NOT TO SCALE



CHECK	CHD	CHD
DRAWN	TLS	TLS
DATE	11.26.22	12.7.22
ISSUED FOR	PERMIT SET	CONSTRUCTION SET

MARTHA'S VINEYARD
ENGINEERING & DESIGN
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8635 INFO@MYENGINEERING.DESIGN



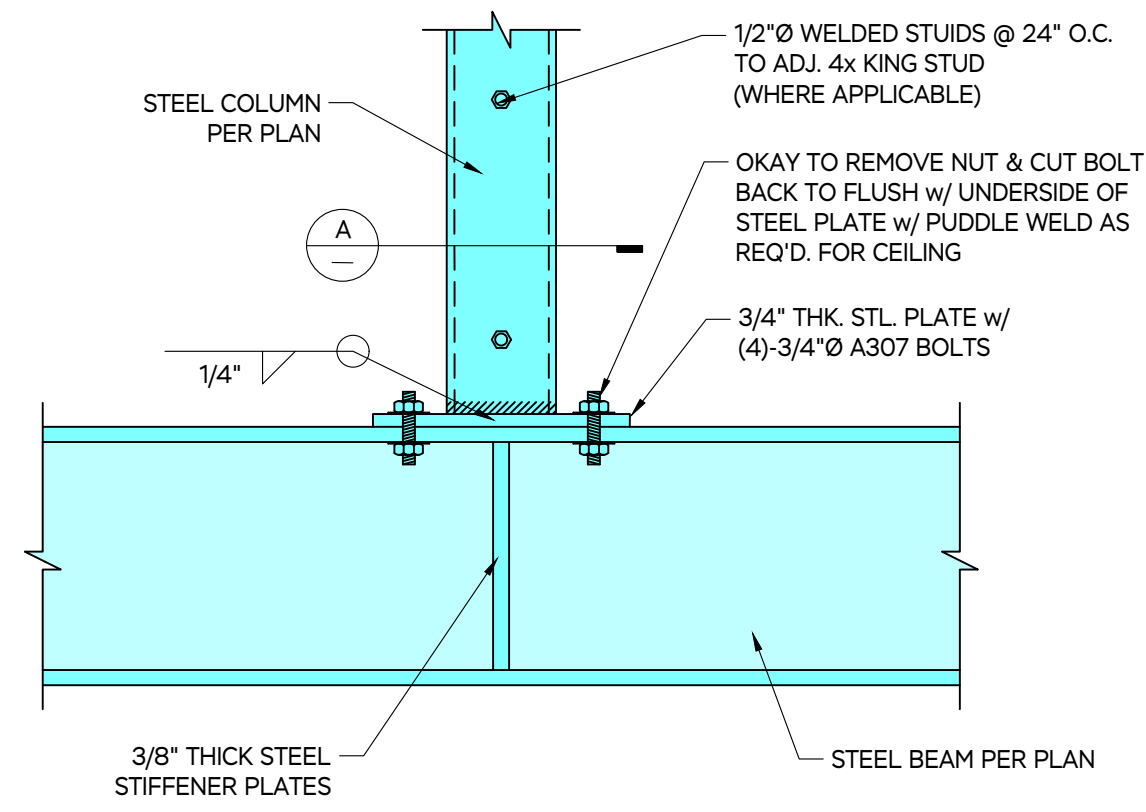
SCALE: SEE PLANS

JOB NUMBER: 22068

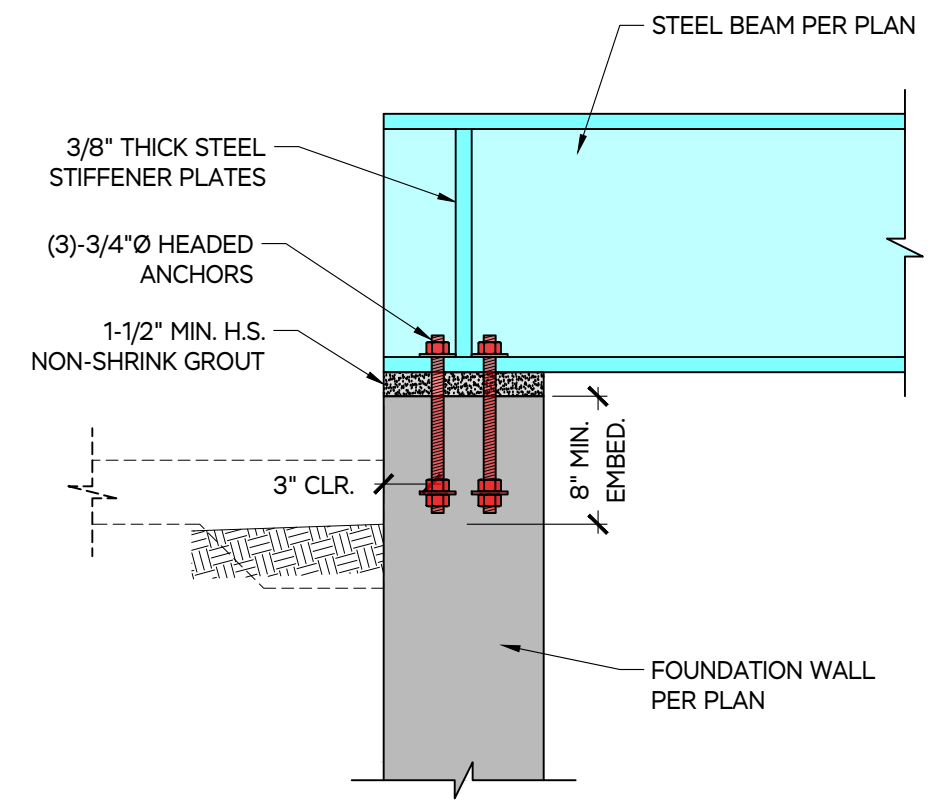
PROJECT: WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575

DATE: 7 DEC 2022

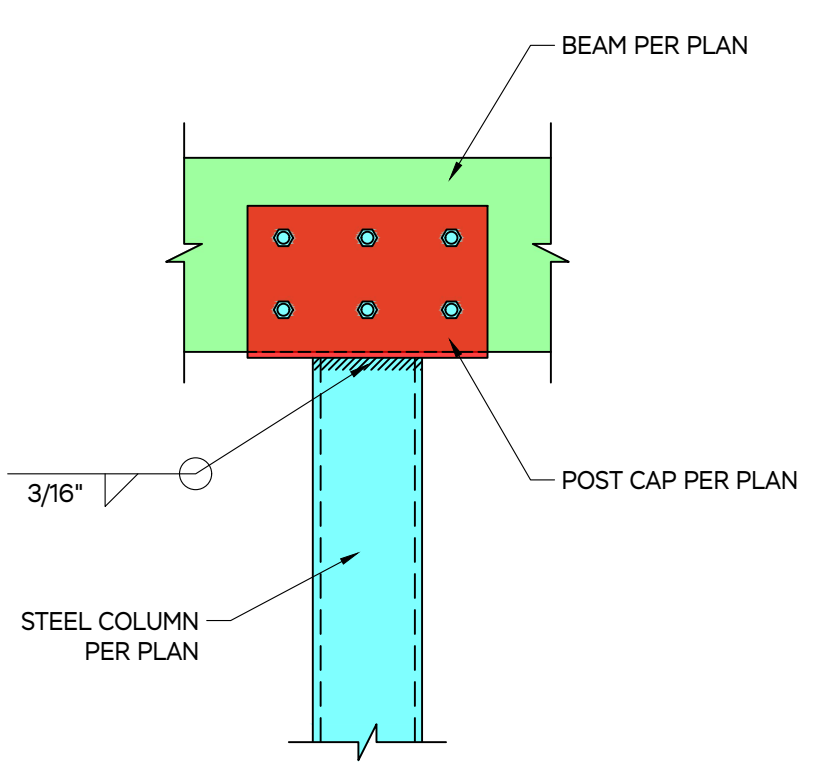
SHEET TITLE: STRUCTURAL DETAILS
S.06



3 STEEL CONNECTION DETAIL NOT TO SCALE

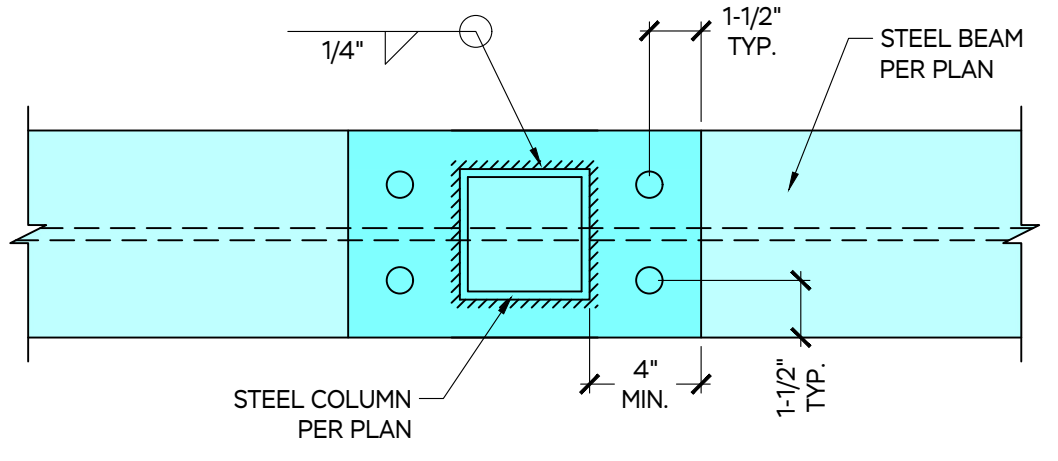
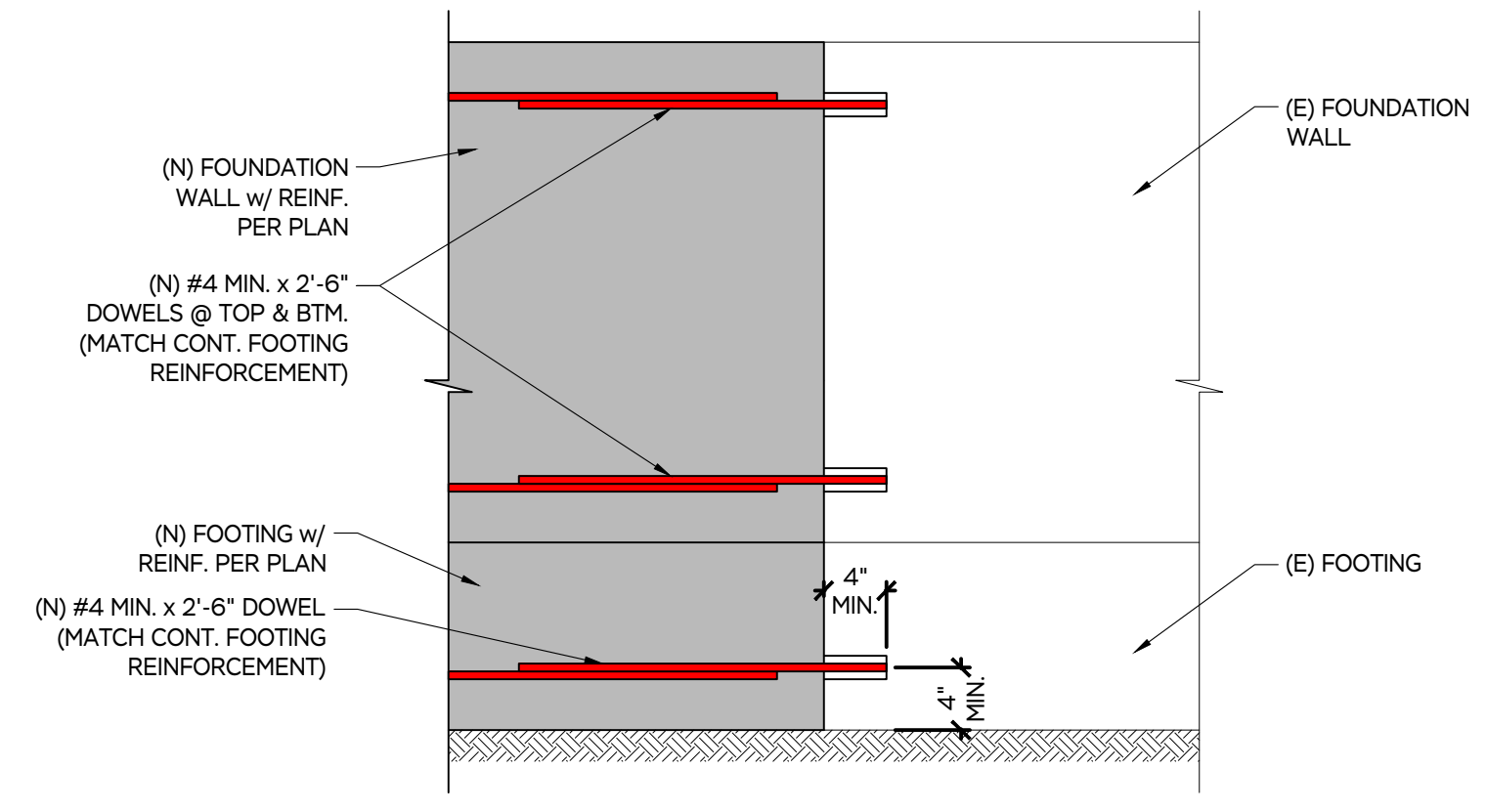


5 STEEL CONNECTION DETAIL NOT TO SCALE

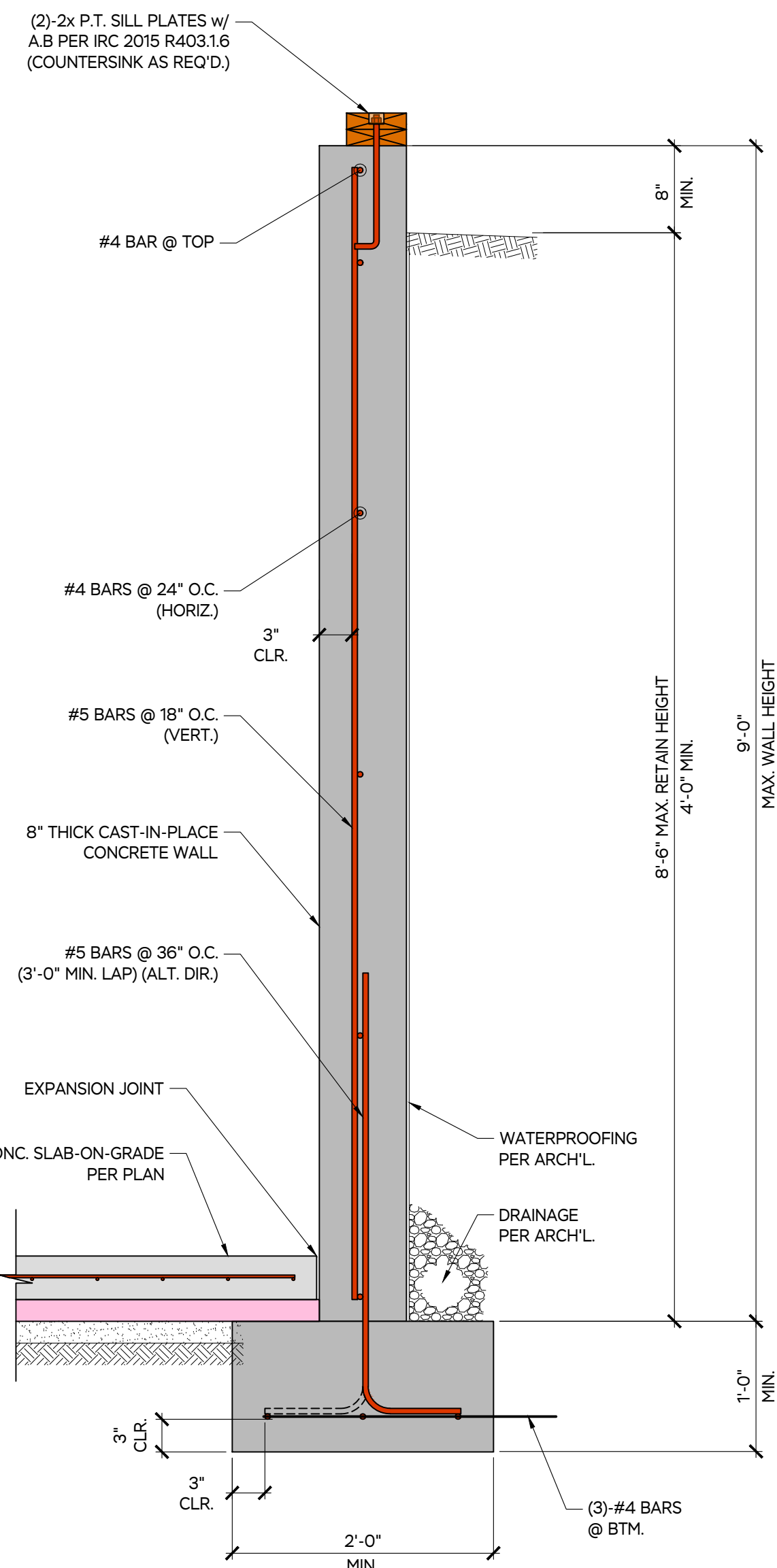


7 NEW TO EXISTING FOUNDATION DETAIL NOT TO SCALE

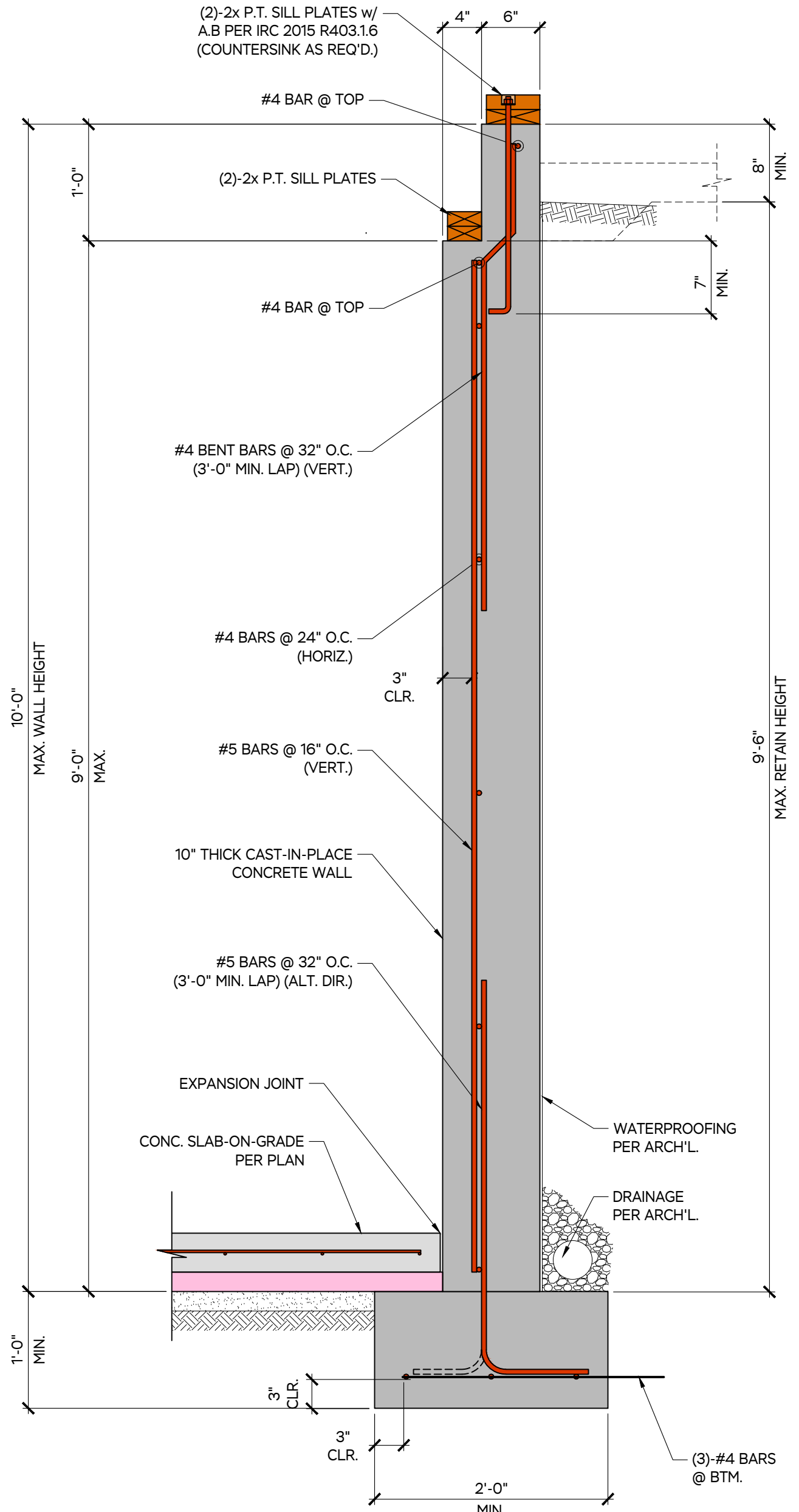
NOTE: USE "SET-XP" EPOXY FOR ALL EPOXIED REBAR



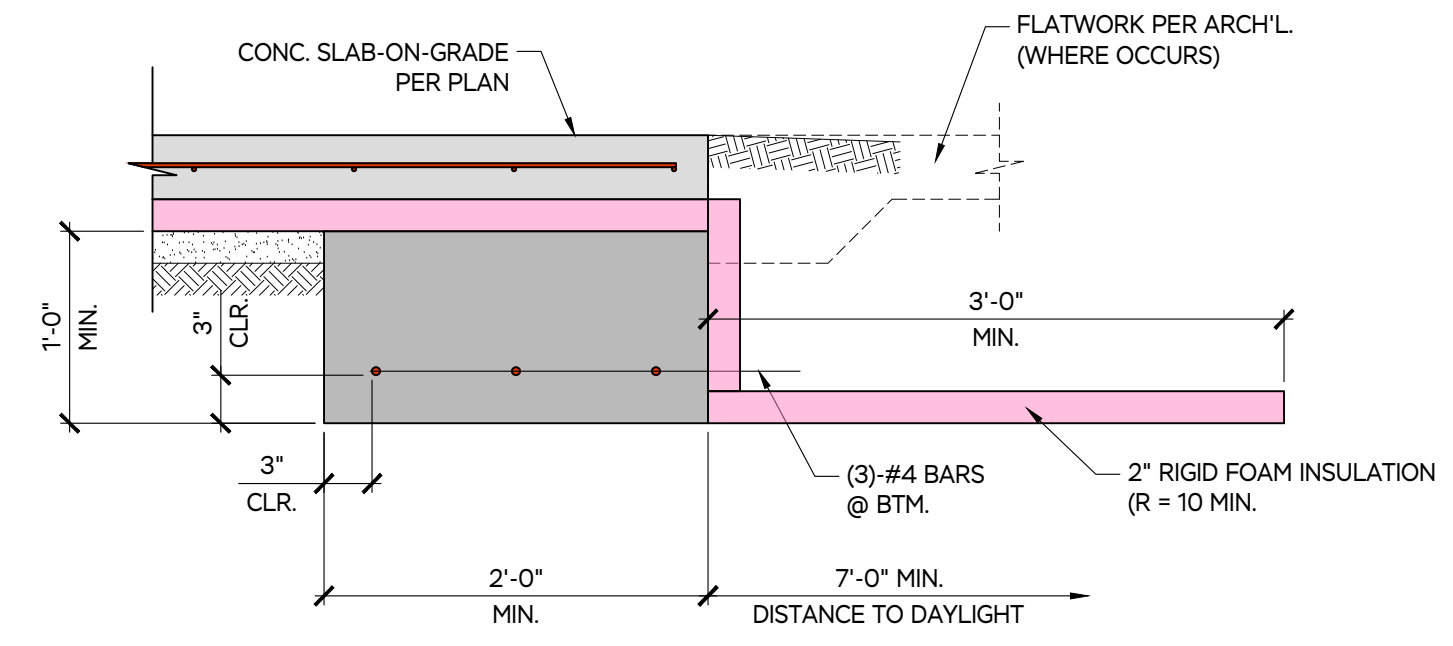
1 STEEL CONNECTION DETAIL NOT TO SCALE



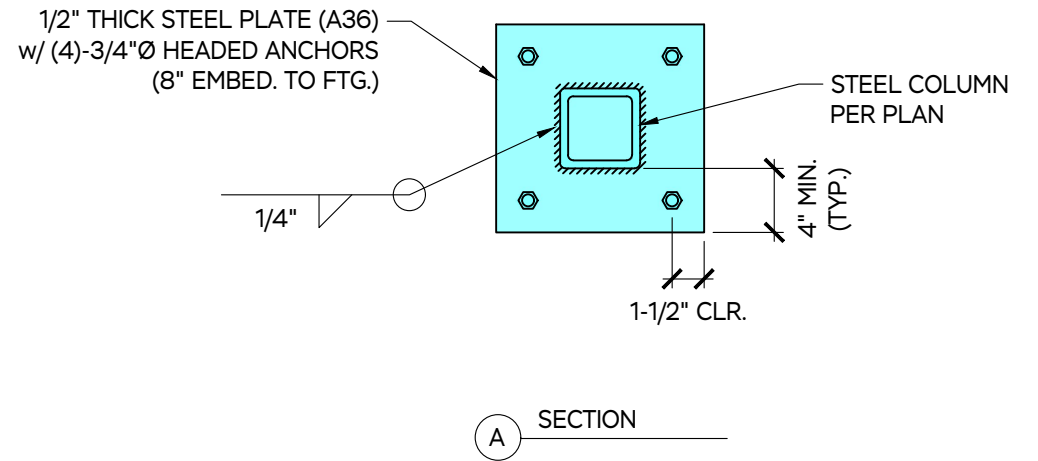
4 FOUNDATION DETAIL NOT TO SCALE



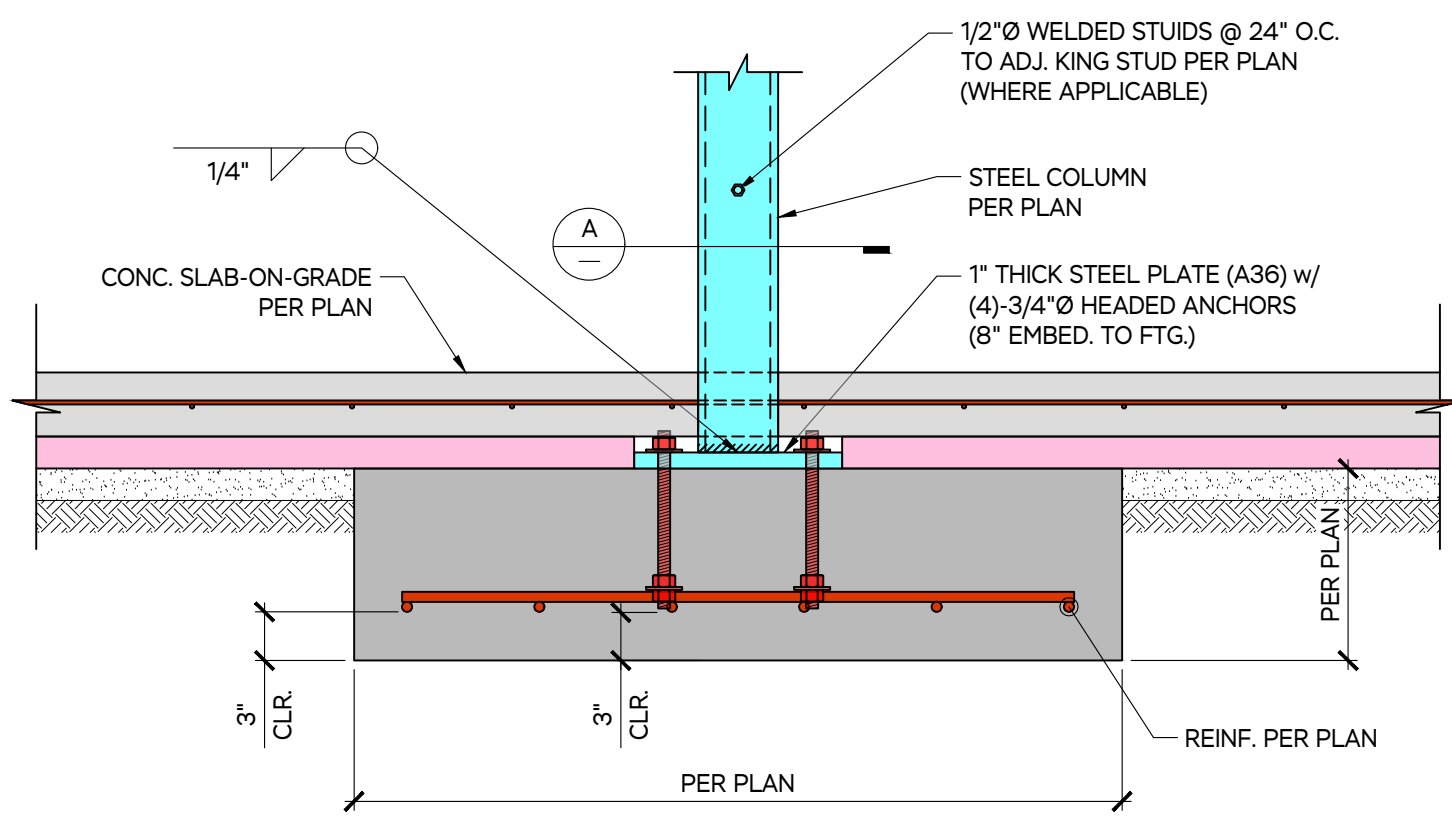
6 FOUNDATION DETAIL NOT TO SCALE



8 FOUNDATION DETAIL NOT TO SCALE

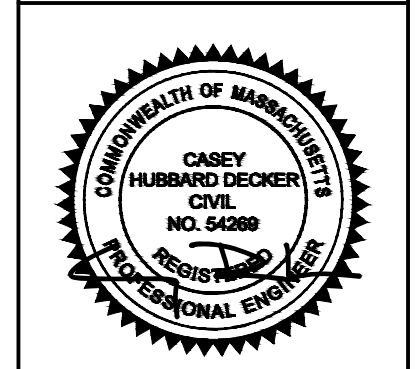


2 STEEL CONNECTION DETAIL NOT TO SCALE



ISSUED FOR	CHECK	CHD	CHD
	DRAWN	TLS	TLS
DATE	11/28/22	12/7/22	
ISSUED FOR	PERMIT SET	CONSTRUCTION SET	

MARTHA'S VINEYARD
ENGINEERING & DESIGN
 79 BEACH ROAD, VINEYARD HAVEN, MA 02568
 774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE: SEE PLANS

JOB NUMBER: 22068

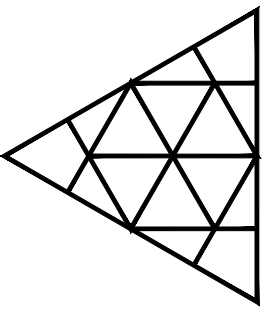
PROJECT: WEBSTER RESIDENCE
 2 SIMRAN RD,
 WEST TISBURY, MA 02575

SHEET TITLE: STRUCTURAL DETAILS

DATE: 7 DEC 2022

S.07

WEBSTER POOL HOUSE



SOIL CLASSIFICATION NOTE

ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

EXPOSED FRAMING NOTE

ALL EXPOSED WOOD DECK FRAMING (i.e. JOISTS, BEAMS, POSTS, ETC.) TO BE PRESSURE TREATED. (U.N.O.)

DRAINAGE NOTE

ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDINGS EDGE

RECESSED LIGHTING NOTE

CONTRACTOR TO LAYOUT ALL ROOF RAFTERS, CEILING, FLOOR & DECK JOIST IN COORDINATION WITH RECESSED LIGHTING LAYOUT SHOWN IN ARCH'L DRAWINGS.

FLOOR / DECK NOTE

CONTRACTOR TO INSTALL FULL-DEPTH BRIDGING OR BLOCKING @ 1/3 SPANS FOR ALL FLOOR/DECK JOIST WITH SPANS GREATER THAN 14'-0".

BASEMENT WALL NOTE

1. OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF SLAB
2. OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF FLOOR FRAMING.

LARGE DOORS / WINDOWS

CONTRACTOR TO ENSURE ALL FINISHES HAVE BEEN INSTALLED/LOADED PRIOR TO INSTALL OF DOORS/WINDOWS WITH OPENINGS LARGER THAN 12' 0" (ALL TRUE GLASS CORNERS) OR PROVIDE GLAZING INSTALLER ACCESS TO BOTH THE TOP AND BOTTOM OF SAID DOORS/WINDOWS AFTER FINISHES TO ALLOW FOR ANY REQUIRED ADJUSTMENTS.

CONCRETE SLAB-ON-GRADE

USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" WWM OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL. VAPOR BARRIER

EXTERIOR WALL SHEATHING

SHEATH ENTIRE EXTERIOR OF BUILDING. 1/2" MIN. STRUCTURAL 1" SHEATHING. (U.N.O.)
10d COMMON NAILS @ 4" O.C. END NAILING (E.N.)
10d COMMON NAILS @ 6" O.C. FIELD NAILING (F.N.)
ALL SHEATHING TO RUN CONT. w/ E.N. TO RIM JOISTS OR SILL PLATES (WHERE OCCURS) @ BTM. OF WALL & TO RIM JOISTS OR RAFTER/JOIST BLK'G. @ TOP OF WALL.

DECK SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

FLOOR SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1
10d COMMON NAILS @ 6" O.C. B.N. & E.N.
10d COMMON NAILS @ 10" O.C. INT. FRAMING

ROOF SHEATHING

19/32" APA-RATED SHEATHING, EXPOSURE 1, 24" MIN. SPAN RATING,
8d COMMON NAILS @ 6" O.C. B.N. & E.N.
8d COMMON NAILS @ 12" O.C. INT. FRAMING

STRUCTURAL LEGEND

- POST BELOW
- POST ABOVE
- TIMBER FRAMING
- ENGINEERED LUMBER
- CONCRETE
- PLYWOOD SHEATHING
- STRUCTURAL STEEL
- REBAR
- STEEL SHEARWALLS & CONNECTORS

CHECK	CHD
DRAWN	TLS
DATE	12/12/22
ISSUED FOR	
PERMIT SET	

MARTHA'S VINEYARD
ENGINEERING & DESIGN
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN

SCALE: SEE PLANS

JOB NUMBER: 22068

PROJECT: WEBSTER POOL HOUSE
2 SIMRAN RD,
WEST TISBURY, MA 02575
SHEET TITLE: STRUCTURAL NOTES & SCHEDULES

DATE: 12 DEC 2022

S.01

DESIGN CRITERIA

- BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE (MSBC) & THE INTERNATIONAL RESIDENTIAL CODE EDITION 2015 (IRC)
- LOADS:

	DEAD	LIVE / SNOW
a) ROOF	15 PSF	25 PSF
b) FLOOR	15 PSF	40 PSF
c) DECK	10 PSF	60 PSF
- WIND LOADS:
 - BASIC WIND SPEED = 140 mph - EXPOSURE B AS PER MSBC
- METAL CONNECTOR CLIPS TO BE PROVIDED & INSTALLED AS PER THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) AS DESCRIBED IN R301.2.1.1 DESIGN CRITERIA
- MINIMUM DEFLECTIONS OF HORIZONTAL STRUCTURAL MEMBERS:
 - FLOOR MEMBERS L/360
 - ROOF MEMBERS L/240
- CONCRETE MINIMUM 28-DAY COMPRESSIVE STRENGTH, f'c
 - FOOTINGS 3,000 psi
 - FOUNDATIONS WALLS 3,000 psi
 - SLAB ON GRADE 3,000 psi
 - HONEY-COMBING, SPALLS, CRACKS, ETC. SHALL BE REPORTED TO THE STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF SYSTEMS NOT SHOWN IN STRUCTURAL PLANS.
- MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODES
- FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DOCUMENTS, REFER TO ARCHITECTURAL DOCUMENTS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. TEMPORARY SHORING & SUPPORT MAY BE REQUIRED DURING INTERMEDIATE STAGES OF CONSTRUCTION.

WIND DESIGN CRITERIA

- BUILDING CODE: SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC EDITION 2015 (SDPWS)
- FRAMING REQUIREMENTS: ALL FRAMING MEMBERS AND BLOCKING USED FOR SHEAR WALL CONSTRUCTION SHALL BE 2" NOMINAL OR GREATER.
- SHEATHING REQUIREMENTS:
 - SHEATHING SHALL BE ATTACHED USING NAILS OR OTHER APPROVED FASTENERS. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH TO THE SURFACE OF THE SHEATHING.
 - PANELS SHALL NOT BE LESS THAN 4' x 8' EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING.
 - NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE

GLOSSARY

ALT - ALTERNATING	MAX - MAXIMUM
ARCH - ARCH'L - ARCHITECT / ARCHITECTURAL	MIN - MINIMUM
B/ - BOTTOM	MSBC - MASSACHUSETTS STATE BUILDING CODE
B/W - BOTH WAYS	MSL - MEAN SEA LEVEL
B.N. - BOUNDARY NAILING	(N) - NEW
BLK'G - BLOCKING	OC - ON CENTER
BM - BEAM	PCF - POUNDS PER CUBIC FOOT
BP - BASE PLATE	PL - PLATE
C.J. - CEILING JOIST	PLF - POUNDS PER LINEAR FOOT
CL - CENTER LINE	PLY - PLYWOOD
COL - COLUMN	PORT - PORTLAND CEMENT
CONN - CONNECT	PSF - POUNDS PER SQUARE FOOT
D.J. - DECK JOIST	PSI - POUNDS PER SQUARE INCH
DEV - DEVELOPMENT	PSL - PARALLEL STRAND LUMBER
DIA - Ø - DIAMETER	PT - PRESSURE TREATED
DIR - DIRECTION	REINF - REINFORCED / REINFORCEMENT
DN - DOWN	RET - RETAINING
EA - EACH	REQ'D - REQUIRED
ECT - ETCETERA	RO - ROUGH OPENING
ELEV - ELEVATION	R.R. - ROOF RAFTER
EMBED - EMBEDDED	SF - SUBFLOOR
E.N. - END NAILING	STAGG - STAGGERED
ENG - ENGINEER	STR - STRUCTURAL
EQ - EQUALLY	T/ - TOP
EXIST - (E) - EXISTING	T/B - TOP AND BOTTOM
EXT - EXTERIOR	T&G - TONGUE AND GROVE
F.J. - FLOOR JOIST	TBD - TO BE DETERMINED
F.N. - FIELD NAILING	TBR - TO BE REMOVED
FF - FINISH FLOOR	TJI - ENGINEERED I-JOIST
FG - FINISH GRADE	TP - TOP PLATE
FOUND - FOUNDATION	TYP - TYPICAL
GALV - GALVANIZED	VERT - VERTICAL
GLB - GLULAM BEAM	VIF - VERIFY IN FIELD
HDR - HEADER	w/ - WITH
HORIZ - HORIZONTAL	
IBC - INTERNATIONAL BUILDING CODE	
IEBC - INTERNATIONAL EXISTING BUILDING CODE	
INT - INTERIOR	
IRC - INTERNATIONAL RESIDENTIAL CODE	
KIP - K - 1000 POUNDS	
LB - POUND	
LSL - LAMINATED STRAND LUMBER	

HOLDOWN SCHEDULE

SYMBOL	HOLDOWN DEVICE	VALUE
A	(2)-2x STUD w/ *MSTC40* FLOOR-TO-FLOOR HOLDOWN	2,655 LBS
B	(2)-2x STUD w/ *MSTC52* FLOOR-TO-FLOOR HOLDOWN	3,985 LBS
C	(2)-2x STUD w/ *MSTC66* FLOOR-TO-FLOOR HOLDOWN	5,850 LBS
D	(2)-2x STUD w/ *MSTC48B3* FLOOR-TO-FLOOR HOLDOWN	3,900 LBS
E	(2)-2x STUD w/ *MSTC66B3* FLOOR-TO-FLOOR HOLDOWN	4,490 LBS
F	(2)-2x STUD w/ *HDU2* HOLD-DOWN w/ *SB5/8x24" (5/8"Ø A.B.) OR *LSTD8" / *LSTD8RJ"	2,215 LBS
G	(2)-2x STUD w/ *HDU4* HOLD-DOWN w/ *SB5/8x24" (5/8"Ø A.B.) OR *STD10" / *STD10RJ"	3,285 LBS
H	(2)-2x STUD w/ *HDU5* HOLD-DOWN w/ *SB5/8x24" (5/8"Ø A.B.) OR *STD14" / *STD14RJ"	4,340 LBS
J	(2)-2x STUD w/ *HDU8* HOLD-DOWN w/ *SB7/8x24" (7/8"Ø A.B.)	6,580 LBS
K	(2)-2x STUD w/ *HDU11* HOLD-DOWN w/ *SB1x30" (1"Ø A.B.)	8,030 LBS
L	(2)-2x STUD w/ *HDU14* HOLD-DOWN w/ *SB1x30" (1"Ø A.B.)	12,425 LBS
M	6x POST w/ *CMST12" FLOOR TO FLOOR HOLDOWN (END LENGTH NAILING TO POST, L=3'-3" MIN.)	9,215 LBS

NOTES:

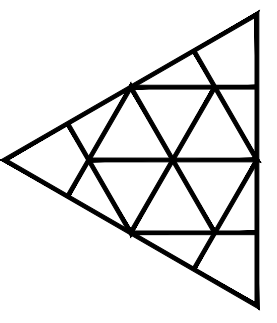
- DEEPEEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLDOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
- MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
- MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS. MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	#6 THROUGH #18 REBAR #5 REBAR, W31D31 WIRE, AND SMALLER	2 1-1/2
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	#14 AND #18 REBAR #11 REBAR AND SMALLER	1-1/2 3/4
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2

SPREAD FOOTING SCHEDULE

SYMBOL	DIMENSIONS & REINFORCEMENTS
F-1	2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY
F-2	2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY
F-3	3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY
F-4	3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY
F-5	4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY



CHECK	CHD
DRAWN	TLS
DATE	12/12/22
ISSUED FOR	PERMIT SET

**MARTHA'S VINEYARD
ENGINEERING & DESIGN**
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN

SCALE:
SEE PLANS

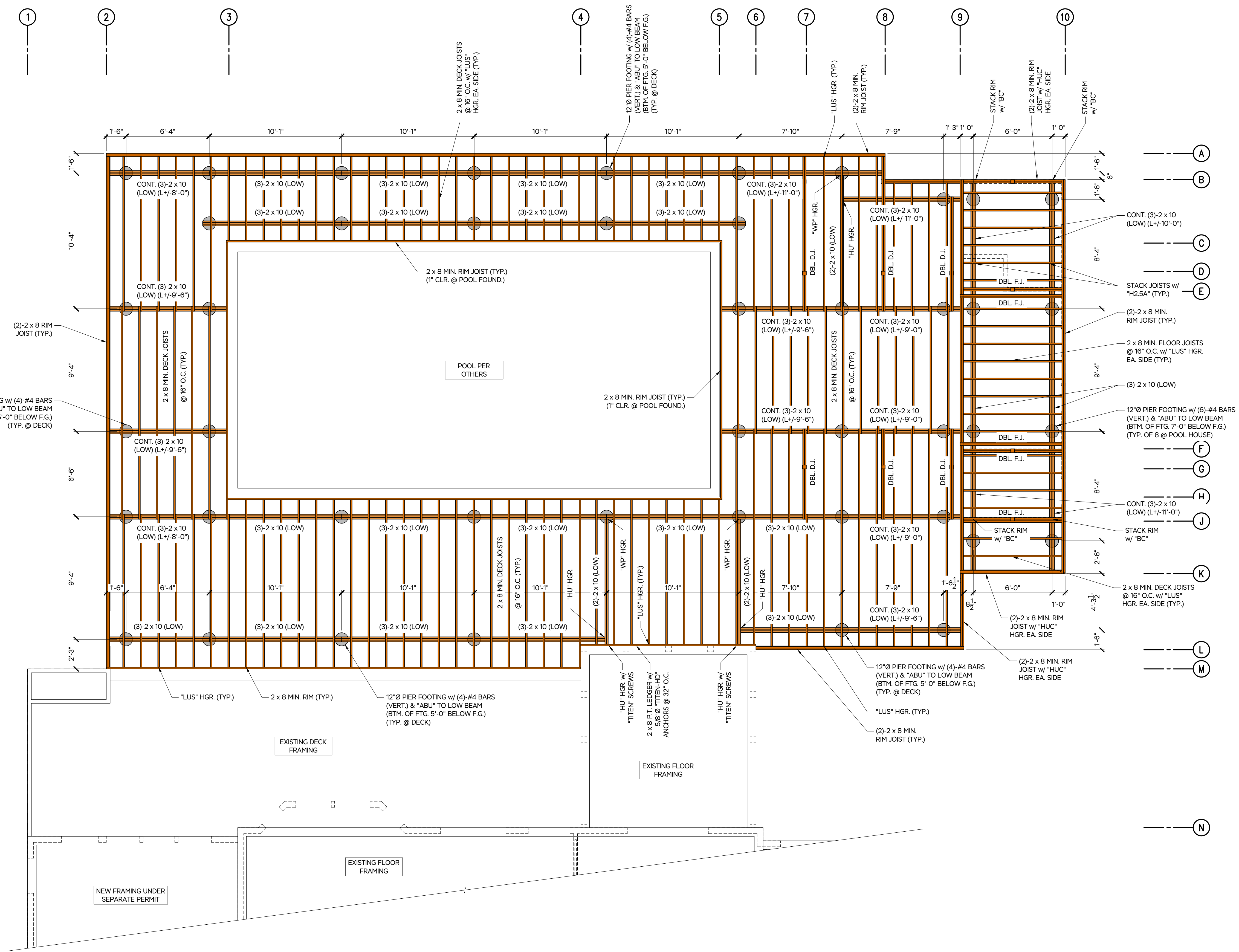
JOB NUMBER:
22068

PROJECT:
**WEBSTER POOL HOUSE
2 SIMRAN RD,
WEST TISBURY, MA 02575**

SHEET TITLE:
**1st FLOOR / DECK FRAMING
& FOUNDATION PLAN**

DATE:
12 DEC 2022

S.02



SOIL CLASSIFICATION NOTE
ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

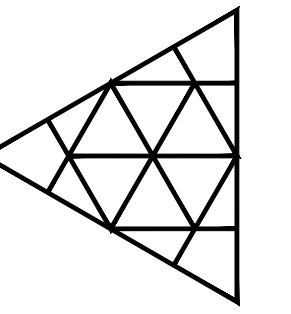
CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	#6 THROUGH #18 REBAR	2
		#5 REBAR, W31D31 WIRE, AND SMALLER	1-1/2
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	#14 AND #18 REBAR	1-1/2
		#11 REBAR AND SMALLER	3/4
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2

STRUCTURAL LEGEND

	POST BELOW
	POST ABOVE
	TIMBER FRAMING
	ENGINEERED LUMBER
	CONCRETE
	PLYWOOD SHEATHING
	STRUCTURAL STEEL
	REBAR
	STEEL SHEARWALLS & CONNECTORS

1ST FLOOR / DECK FRAMING & FOUNDATION PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE SOT FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"



ISSUED FOR	DATE	DRAWN	CHECK
PERMIT SET	12/12/22	TL5	CHD

**MARTHA'S VINEYARD
ENGINEERING & DESIGN**
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8635 INFO@MYENGINEERING.DESIGN

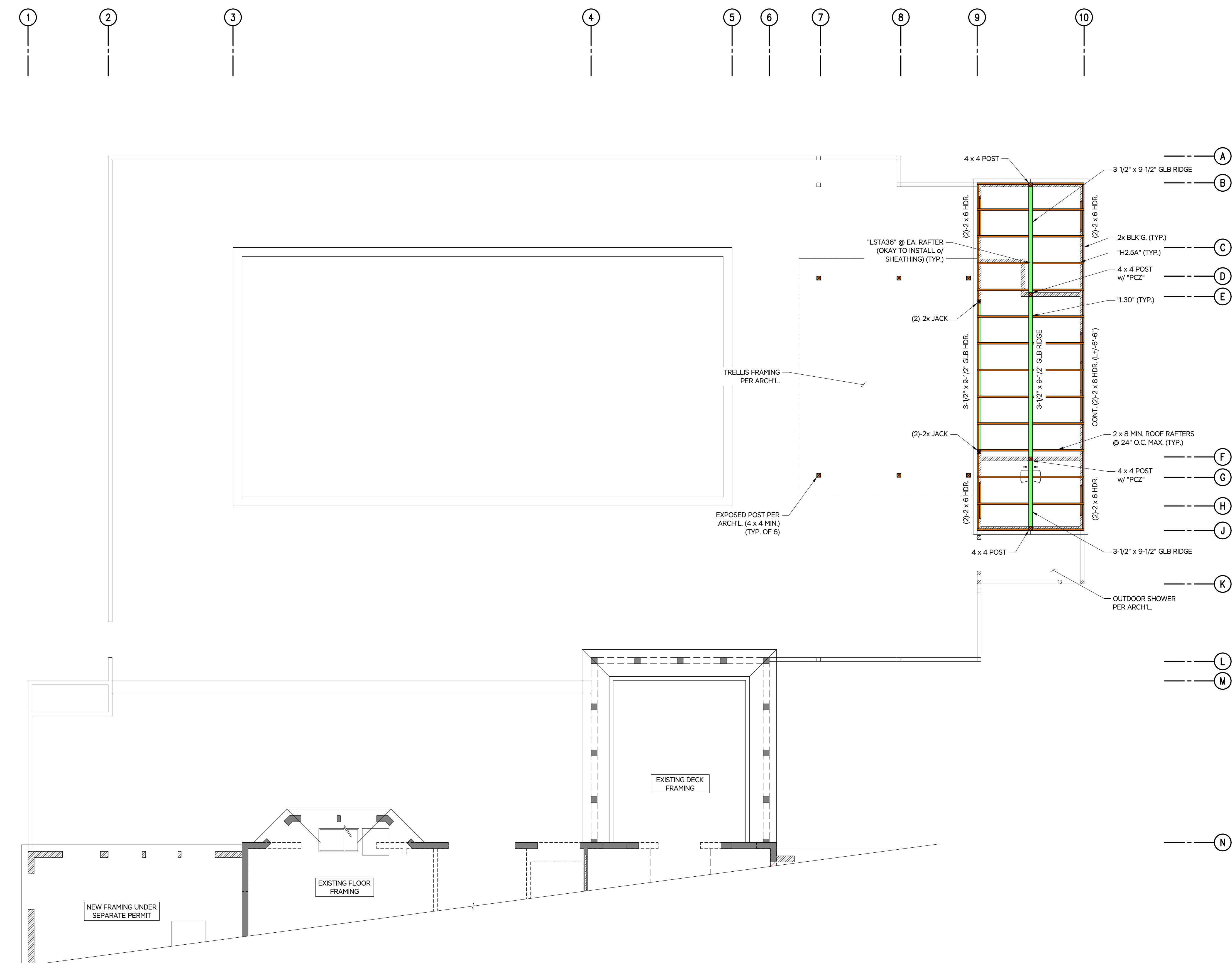
SCALE:
SEE PLANS

JOB NUMBER:
22068

PROJECT: **WEBSTER POOL HOUSE
2 SIMRAN RD,
WEST TISBURY, MA 02575**
SHEET TITLE: **ROOF FRAMING PLAN**

DATE:
12 DEC 2022

S.03



STRUCTURAL LEGEND	
	POST BELOW
	POST ABOVE
	TIMBER FRAMING
	ENGINEERED LUMBER
	CONCRETE
	PLYWOOD SHEATHING
	STRUCTURAL STEEL
	REBAR
	STEEL SHEARWALLS & CONNECTORS

ROOF FRAMING PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S.01 FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"