

# Hirsh Residence

Master Bedroom Suite and Basement Addition

12 Brook Hollow Road, West Tisbury, MA 02575



**González Architects**  
Residential

**GONZALEZ ARCHITECTS**

14 NE 1st Avenue, Suite 507  
Miami, FL 33132  
305.455.4216

Structural Engineer

**Martha's Vineyard Engineering and Design**

79 Beach Road  
Vineyard Haven, MA 02568  
774.563.8535

Permit Set : 09-23-21

ACT	ACOUSTIC CEILING TILE	EQ	EQUAL	IN	INCH	PLMB	PLUMBING
AFF	ABOVE FINISHED FLR.	EQU	EQUIPMENT	INSUL	INSULATION	PLYW	PLYWOOD
AL	ALUMINUM	EXP	EXPANSION	INT	INTERIOR	PSI	POUNDS/SQUARE INCH
BSMT	BASEMENT	EXIST	EXISTING	JAN	JANITOR	PSF	POUNDS/SQUARE FEET
BLKG	BLOCKING	EXT	EXTERIOR	JT	JOINT	PL	PROPERTY LINE
BLDG	BUILDING	FT	FEET	JST	JOIST	REF	REFRIGERATOR
CAB	CABINET	FL	FLASHING	KP	KICK PLATE	REQD	REQUIRED
CPT	CARPET	FLR	FLOOR	LAV	LAVATORY	REV	REVISION
CLG	CEILING	FD	FLOOR DRAIN	LG	LENGTH	RM	ROOM
CEM	CEMENT	FLUOR	FLUORESCENT	LT	LIGHT	SECT	SECTION
CL	CENTER LINE	FTG	FOOTING	MATL	MATERIAL	SHT	SHEET
CT	CERAMIC TILE	FND	FOUNDATION	MFR	MANUFACTURER	SIM	SIMILAR
CLR	CLEAR	FR	FRAME	MAX	MAXIMUM	SPEC	SPECIFICATION
COL	COLUMN	GALV	GALVANIZED	MECH	MECHANICAL	SQ	SQUARE
CONF	CONFERENCE	GC	GENERAL CONTRACTOR	MTL	METAL	STD	STANDARD
CONC	CONCRETE	GL	GLASS	MEZZ	MEZZANINE	SS	STAINLESS STEEL
CONST	CONSTRUCTION	GR	GROUND, GRADE	MIN	MINIMUM	STRUC	STRUCTURE
CJ	CONTROL JOINT	GFI	GROUND FAULT INTERRUPT	MTD	MOUNTED	SV	SMOKE VENT
CONT	CONTINUOUS	GYP	GYPSUM	NOM	NOMINAL	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT	GWB	GYPSUM WALL BOARD	NIC	NOT IN CONTRACT	UON	UNLESS OTHERWISE NOTED
DIA	DIAMETER	HDWR	HARDWARE	OC	ON CENTER	VEST	VESTIBULE
DIM	DIMENSION	HDWD	HARDWOOD	OA	OVERALL	VCT	VINYL COMP. TILE
DISP	DISPENSER	HTR	HEATER	OFD	OVERFLOW DRAIN	WC	WATER CLOSET
DWG	DRAWING	HT	HEIGHT	PR	PAIR	WH	WATER HEATER
EWC	ELECTRIC WATER COOLER	HM	HOLLOW METAL	PTD	PAINTED	W/O	WITHOUT
ELEV	ELEVATION	HB	HOSE BIBB	PNL	PANEL	WB	WOOD BLOCKING
		HW	HOT WATER	PLAM	PLASTIC LAMINATE	WD	WOOD

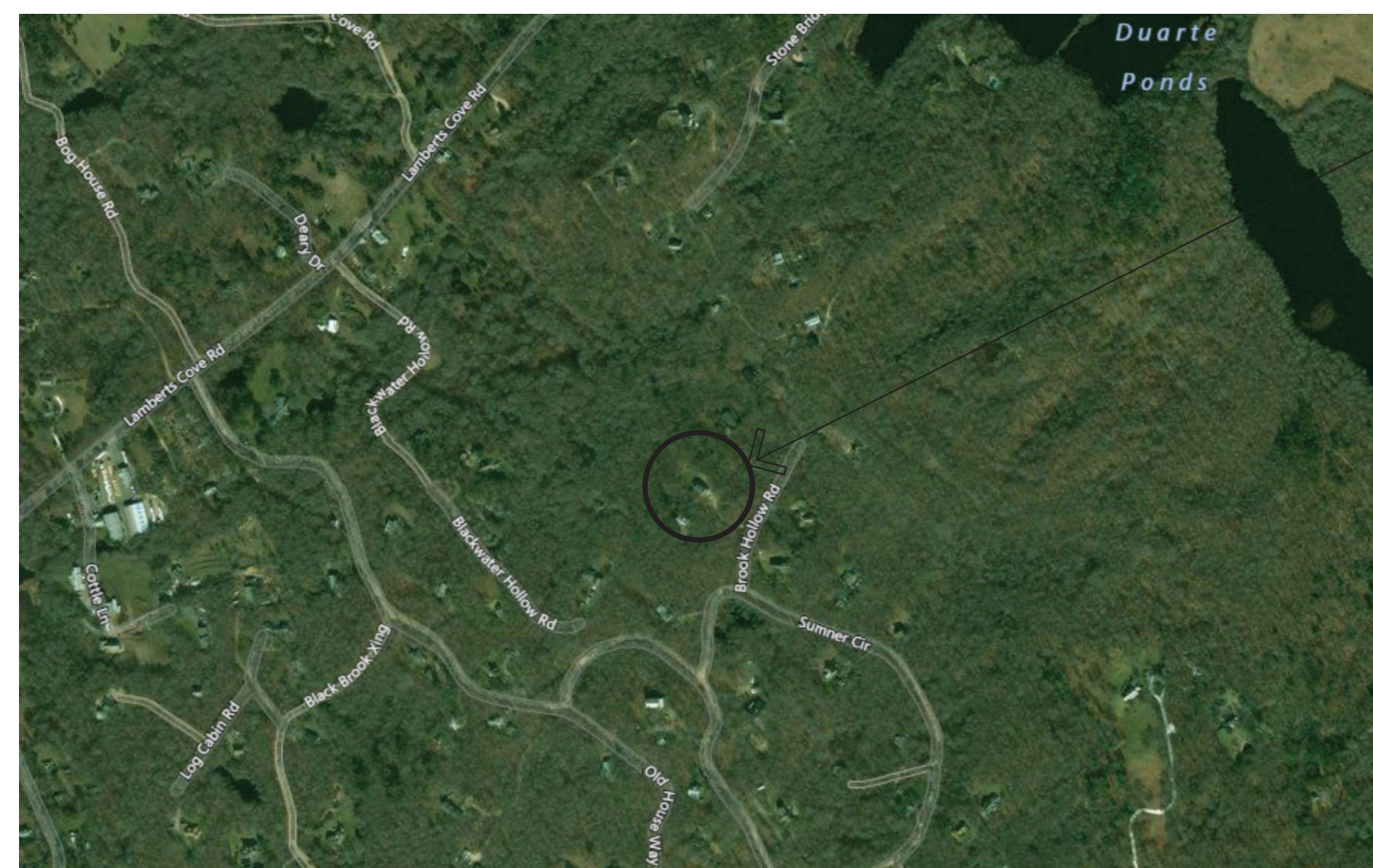
<b>GENERAL PROJECT DATA</b>	
APPLICANT:	GONZALEZ ARCHITECTS 14 NE 1st AVENUE, SUITE 507 MIAMI, FL. 33132
BUILDING ADDRESS:	12 BROOK HOLLOW ROAD WEST TISBURY, MA. 02575
<b>RELEVANT CODE INFORMATION</b>	
IRC - INTERNATIONAL RESIDENTIAL CODE 780 CMR - MA AMENDMENTS TO THE IBC (RESIDENTIAL VOLUME)	2015 9TH EDITION
IEBC - INTERNATIONAL EXISTING BUILDING CODE 527 CMR - MA FIRE PREVENTION AND ELECTRICAL REGULATIONS	2015
IECC - INTERNATIONAL ENERGY CONSERVATION CODE	2015
IMC - INTERNATIONAL MECHANICAL CODE 248 CMR - MA PLUMBING REGULATIONS	2015
IFC - INTERNATIONAL FIRE CODE	2015
<b>GENERAL BUILDING DATA</b>	
BUILDING HEIGHT:	Existing House: 30'-0" New Addition: 30'-0"
NUMBER OF LEVELS	Existing House: 2 + Basement New Addition: 1 + Basement + Roof Deck
USE GROUP (PRIMARY):	R-3 (EXISTING)
CONSTRUCTION TYPE:	Type V (EXISTING)
ZONE:	RU (Rural)
FIRE SUPPRESSION:	NO
AREA:	2576 sq.ft. (Existing) 966 sq.ft. (New Addition)

# 1 Abbreviations

ROOM XXXX	ROOM NAME	USB2	DOUBLE USB JACK	PS	PULL STATION	[Hatched]	ALUMINUM
X/XXX.X	ELEVATION TARGET	[Square]	DOORBELL BUTTON	ST	FIRE STROBE	[Hatched]	STEEL
XX	DOOR NUMBER TAG	EX	EXHAUST	SD	SMOKE DETECTOR	[Hatched]	GENERIC HATCH
[Diamond]	PARTITION TYPE TAG	\$	SWITCH	WM/SD	WALL MNT. SMOKE DETECTOR	[Hatched]	PLYWOOD
[Circle X]	DETAIL TARGET	T	THERMOSTAT	*	FIRE SPRINKLER	[Hatched]	ACOUSTICAL TILE
X/XXX.X	SECTION TARGET	J	J-BOX	*	WALL MNT. FIRE SPRINKLER	[Hatched]	BATT INSULATION
[Circle X]	GRID LINE	[Square]	ACCESS PANNEL	[Star]	EXIT	[Hatched]	RIGID INSULATION
LOCATION ELEVATION	DATUM/HT. AFF	[Square]	OUTLET	[Star]	FIRE EXTIGUISHER CABINET	[Hatched]	GYPSUM BD (LARGE SCALE)
[Circle X]	WINDOW NUMBER TAG	[Square]	QUAD. OUTLET	[Star]	EXIT	[Hatched]	SEALANT BACKER ROD
[Circle X]	DOOR NUMBER TAG	[Hub]	HUB	[Star]	LIGHTED MIRROR	[Hatched]	FIBROUS FIRE SAFING
[Circle X]	DIRECTIONAL DOWNLIGHT	[TV]	TELEVISION	[Star]	EARTH	[Hatched]	CERAMIC TILE
[DND]	DO NOT DISTURB	[Plate]	PLATE	[Star]	GRANULAR FILL	[Hatched]	GRANITE
[Circle X]	WATERPROOF RECESSED CAN	[Plate]	SCONCE	[Star]	CONCRETE	[Hatched]	WOOD FRAMING
[Circle X]	DOUBLE PHONE JACK	[Plate]	LIGHT FIXTURE	[Star]	BRICK	[Hatched]	FINISH WOOD
		[Plate]		[Star]	CMU	[Hatched]	SHIMS/BLOCKING
		[Plate]		[Star]	STONE (CUT OR CAST)	[Hatched]	

# 4 Codes/Data

# 2 General Symbols Legend



# 3 Vicinity Map

Not To Scale

DISCIPLINE	SHEET	DESCRIPTION	PROGRESS SET	PROGRESS SET	PROGRESS SET	PROGRESS SET	PERMIT SET
			08.18.2017	02.26.2021	06.10.2021	08.11.2021	09.23.2021
Cover							
T1.01		Sheet Index and Project Data					
A0.01		Existing Overall Topography / Site Plan					
A0.02		Proposed Overall Topography / Site Plan					
A0.03		Proposed Enlarged Topography / Site Plan					
D1.01		Basement Level Demolition Floor Plan					
D1.02		First Level Demolition Floor Plan					
D1.03		Second Level Demolition Floor Plan					
A1.01		Basement Level Floor Plan					
A1.01a		Basement Level Reflected Ceiling Plan					
A1.01b		First Level Framing Plan					
A1.02		First Level Floor Plan					
A1.02a		First Level Reflected Ceiling Plan					
A1.02b		Second Level Framing Plan					
A1.03		Second Level Floor Plan					
A1.03a		Second Level Deck Enlarged Plan					
A1.04		Roof Plan					
A2.01		Exterior Elevation					
A2.02		Exterior Elevation					
A2.03		Exterior Elevation					
A2.04		Exterior Elevation					
A2.05		Exterior Elevation, Existing Roof Alternate Option					
A3.01		Interior Elevations					
A3.02		Interior Elevations					
A3.03		Interior Elevations					
A3.04		Interior Elevations					
A4.01		Overall Addition Sections					
A4.02		Enlarged Addition Wall Sections					
A4.03		Enlarged Addition Wall Section					
A5.01		Details					
A5.02		Millwork Details					
A6.01		Finish Schedule and Legend					
A6.02		Legends					
A6.03		Door / Window Schedules					
S.01		Structural Plans					

# 5 Index of Drawings

Hirsh Residence  
Master Bedroom Suite  
and Basement Addition

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Residential



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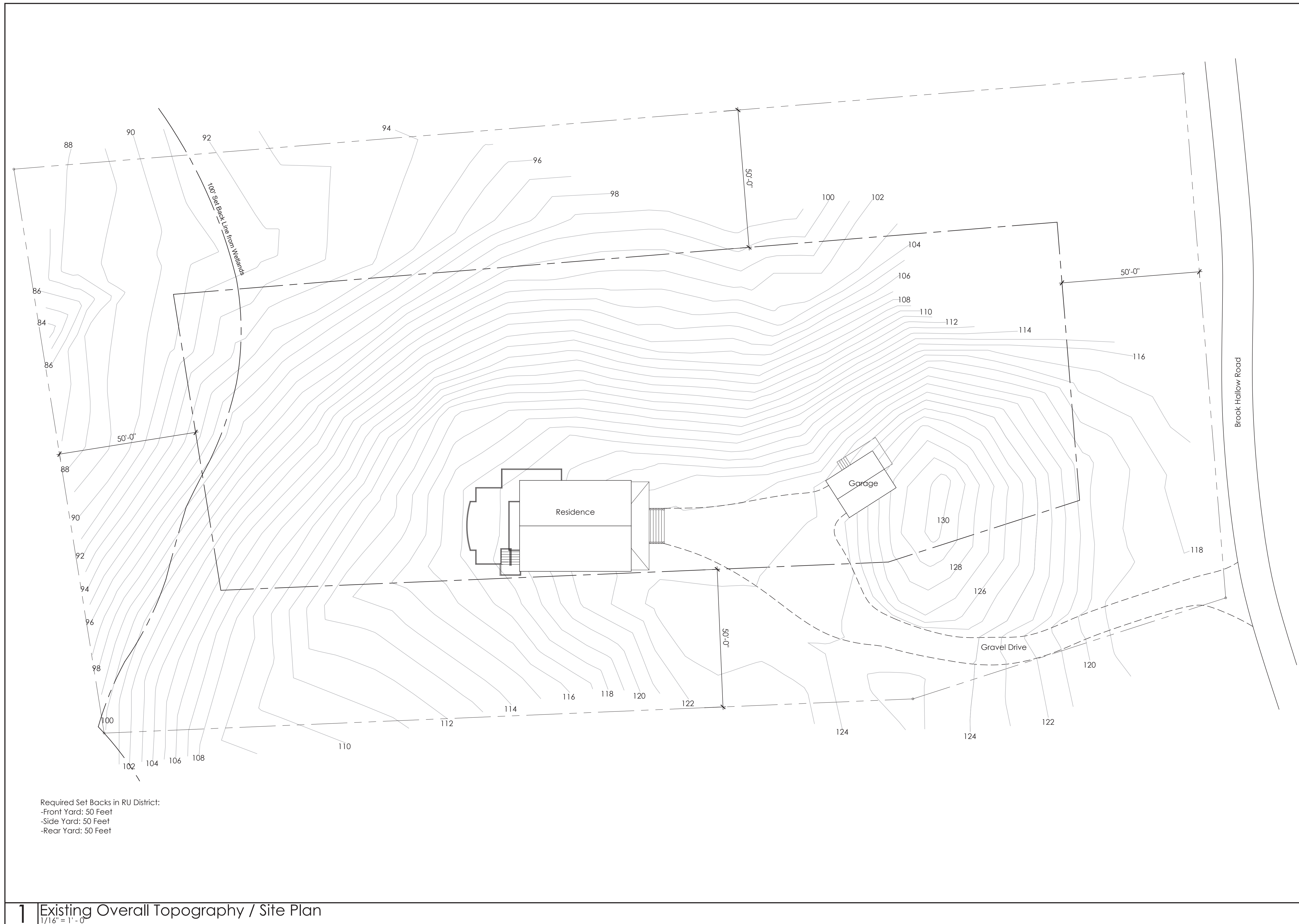
No.	Date	Description
09-23-2021		Permit Set

Drawing Title

Sheet Index and  
Project Data

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	17000
Drawing No.	

T1.01



Required Set Backs in RU District:  
 -Front Yard: 50 Feet  
 -Side Yard: 50 Feet  
 -Rear Yard: 50 Feet

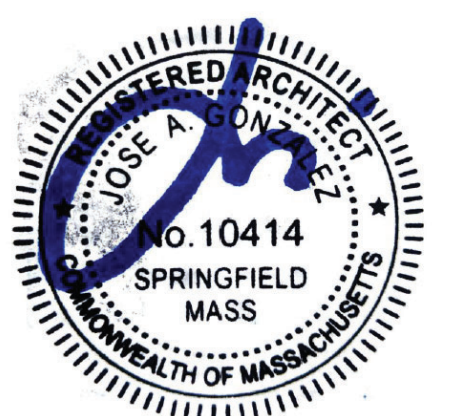
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09-23-2021

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No.	Date	Description
09-23-2021	09-23-2021	Permit Set

Existing Overall  
 Topography / Site Plan

Scale: As Noted  
 Date: September 23, 2021  
 Drawn By: RW  
 Project No.: 17000  
 Drawing No.:

**A0.01**

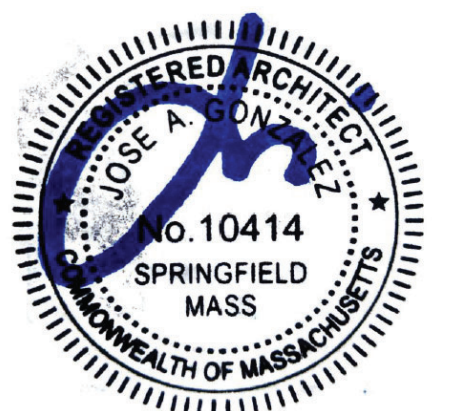
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Residential



09-23-2021

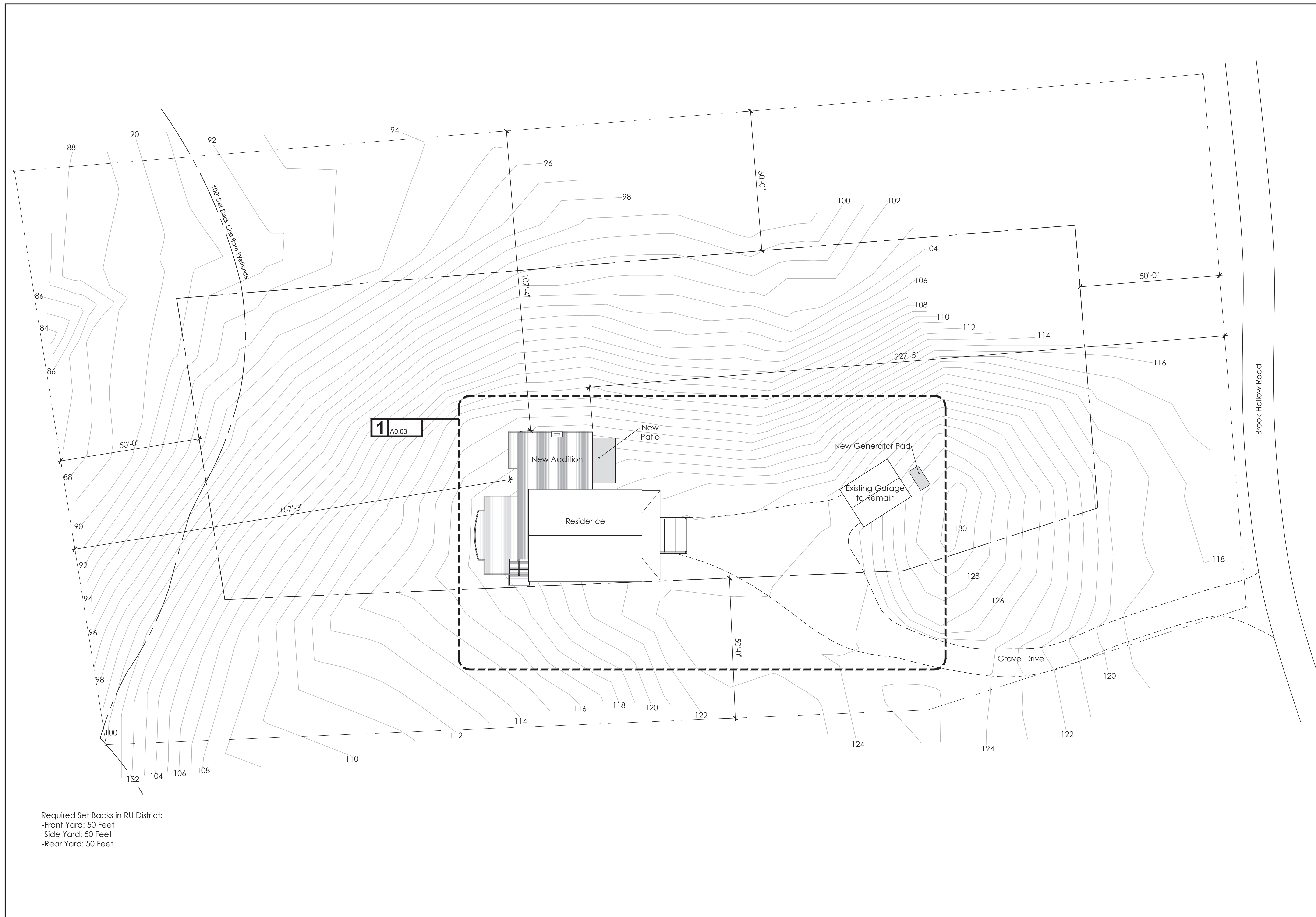
Registration Seal 14 NE First Avenue STE 500 Miami FL 33132  
T (305) 455-9216

No.	Date	Description
09-23-2021	Permit Set	

Drawing Title  
**Proposed Overall  
Topography / Site Plan**

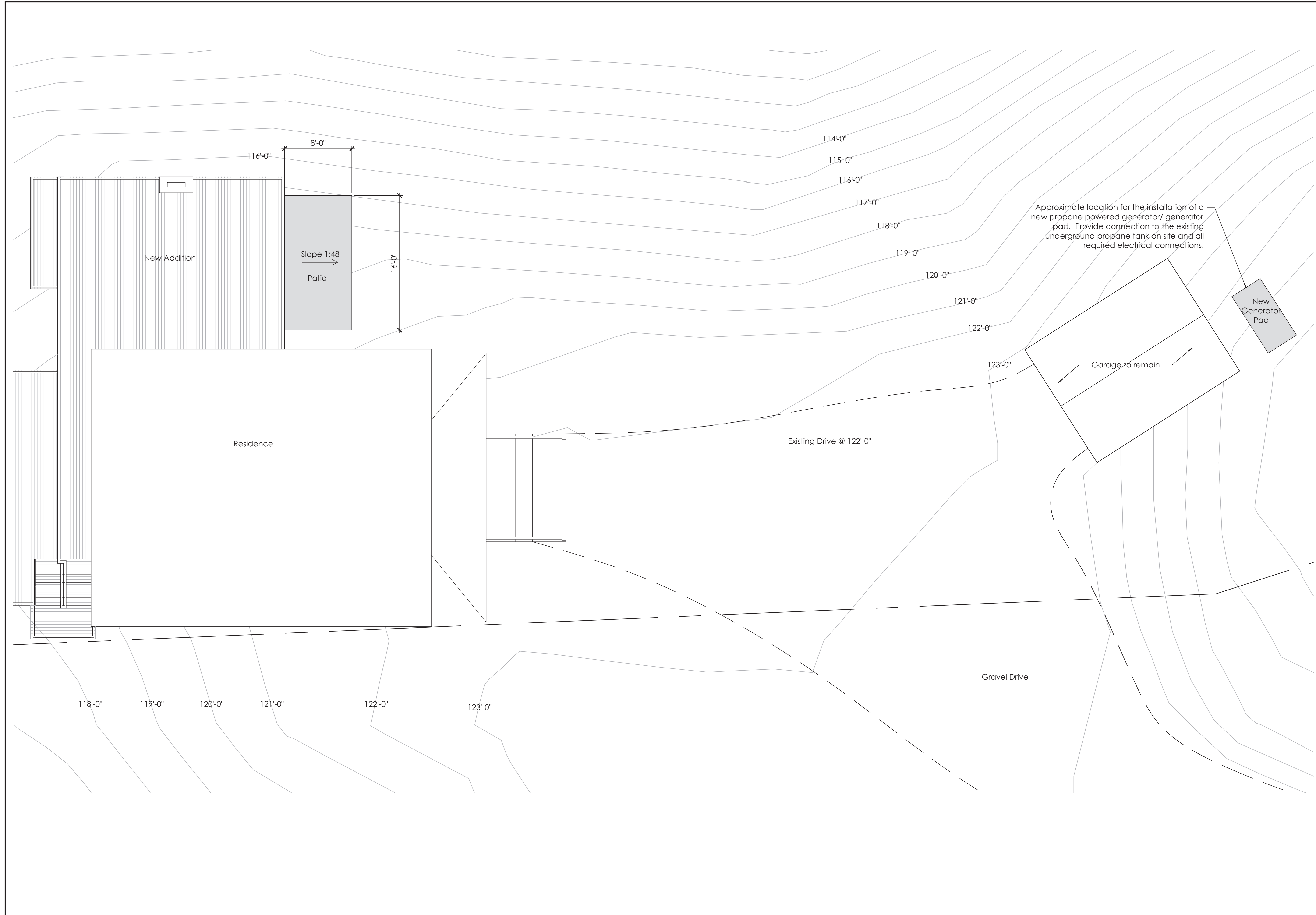
Scale: As Noted  
Date: September 23, 2021  
Drawn By: RW  
Project No.: 17xxx  
Drawing No.:

**A0.02**



Required Set Backs in RU District:  
-Front Yard: 50 Feet  
-Side Yard: 50 Feet  
-Rear Yard: 50 Feet

**1** Proposed Overall Topography / Site Plan  
1/16" = 1' - 0"



Hirsh Residence  
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North



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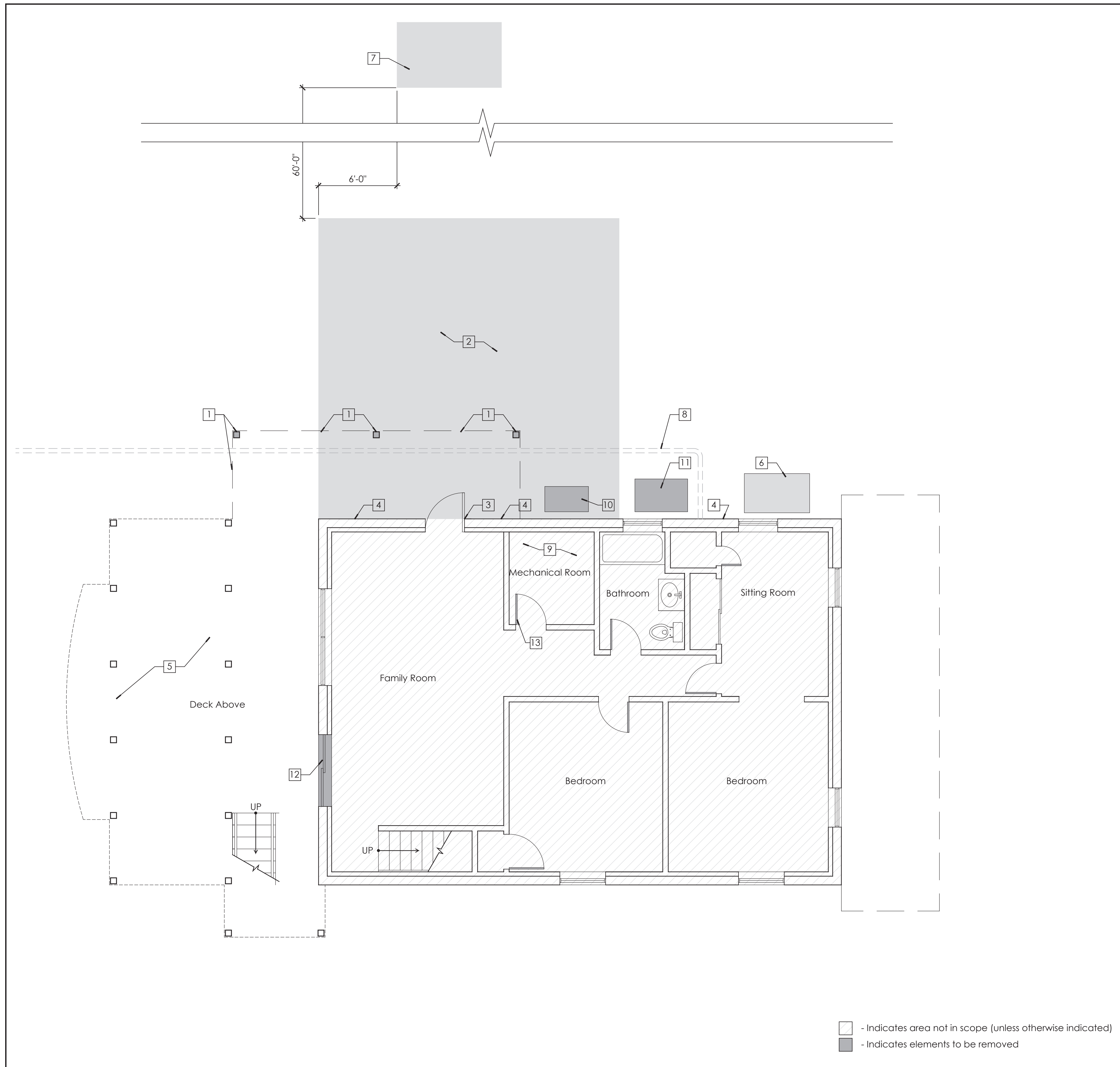
No.	Date	Description
09-23-2021	Permit Set	

Drawing Title  
**Proposed Enlarged Topography / Site Plan**

Scale: As Noted  
Date: September 23, 2021  
Drawn By: RW  
Project No.: 17xxx  
Drawing No.:

**1** Proposed Enlarged Topography / Site Plan  
3/16" = 1'-0"

**A0.03**



**General Notes:**

- Required demolition and repair of areas that are necessary to provide the finished work, but not specifically or implicitly indicated in the plans, are the responsibility of the Contractor.
- GC to coordinate all work with home owner to minimize disturbances.
- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

**Demolition Notes:**

- 1 Portion of deck above and deck columns to be removed where the existing deck is in conflict with the extents of the new addition. Save and protect mahogany deck boards for use to repair on remaining deck.
- 2 Site to be graded and prepared for new addition foundation as indicated. See proposed plans and details.
- 3 Existing exterior door opening to Family Room to remain and be protected throughout demolition and construction.
- 4 All existing structural foundation walls to remain and be protected throughout demolition and construction.
- 5 Existing deck above and deck columns to remain and be protected during demolition and construction unless otherwise indicated.
- 6 Existing pool equipment to be relocated. Coordinate equipment relocation with pool equipment consultant.
- 7 Prepare for new pool equipment pad. Coordinate with pool equipment consultant for required size and location of pad.
- 8 Existing sewer line to septic to be relocated as required for the installation of new foundation. Contractor to verify existing location and depth of sewer line.
- 9 Existing oil boiler to be removed.
- 10 Remove existing oil tank.
- 11 Existing HVAC equipment to be removed. Equipment pad to remain and be reused for new central air unit.
- 12 Existing Basement sliding doors to be removed and replaced with new sliding doors. New doors shall match the size of the existing.
- 13 Change Mechanical room door swing to swing out into the Hall.

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No.	Date	Description
09-23-2021	Permit Set	

Drawing Title  
**Basement Level Demolition Floor Plan**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17000  
Drawing No.

**D1.01**

**1 Basement Level - Demolition Floor Plan**

1/4" = 1' - 0"

**Demolition Notes**

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No.	Date	Description
09-23-2021	09-23-2021	Permit Set

Drawing Title  
**First Level Demolition Floor Plan**

Scale: As Noted  
Date: September 23, 2021  
Drawn By: RW  
Project No.: 17000  
Drawing No.:

**D1.02**

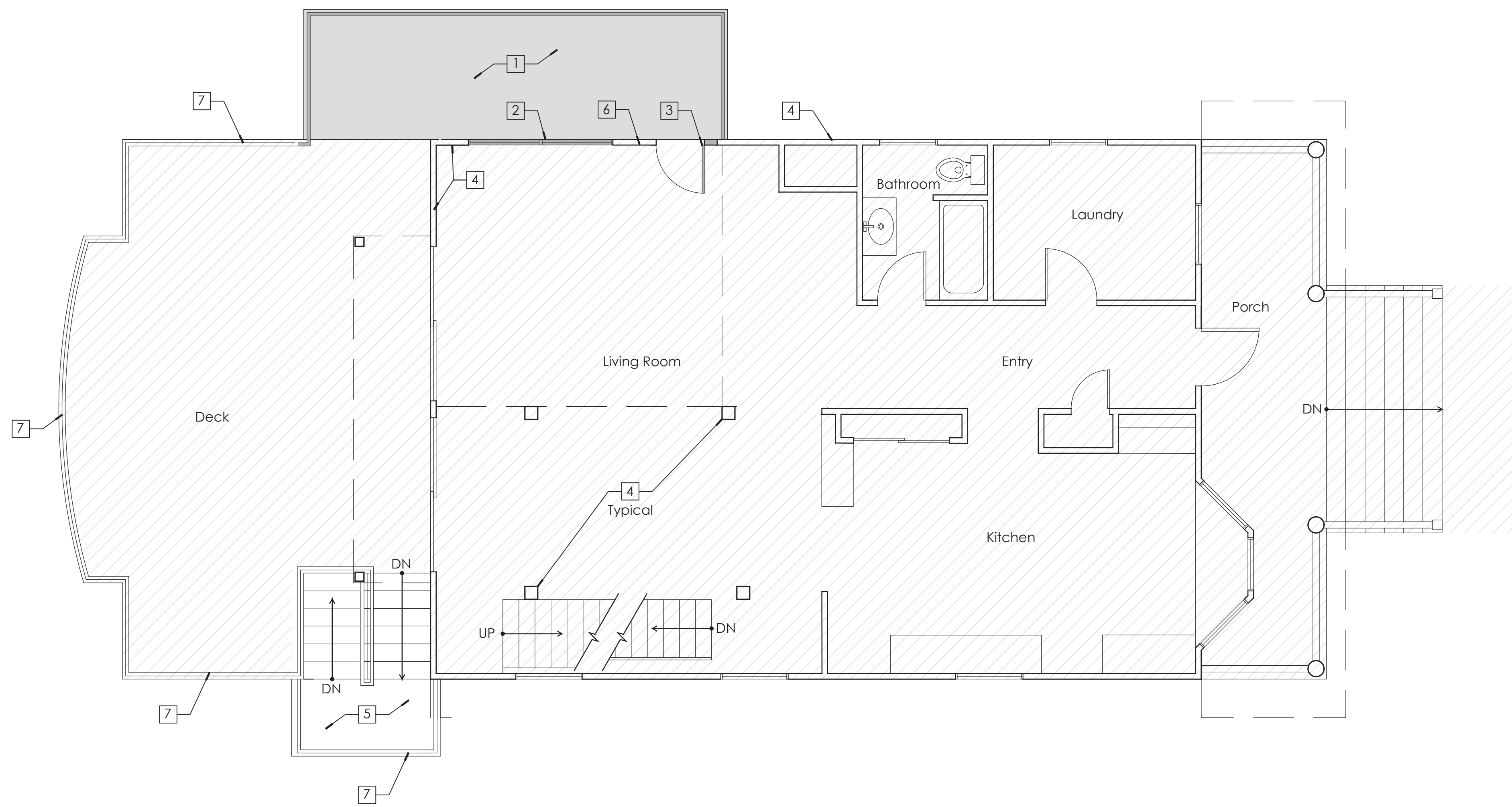
### General Notes:

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- GC to coordinate all work with home owner to minimize disturbances.
- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

### General Notes

#### Demolition Notes:

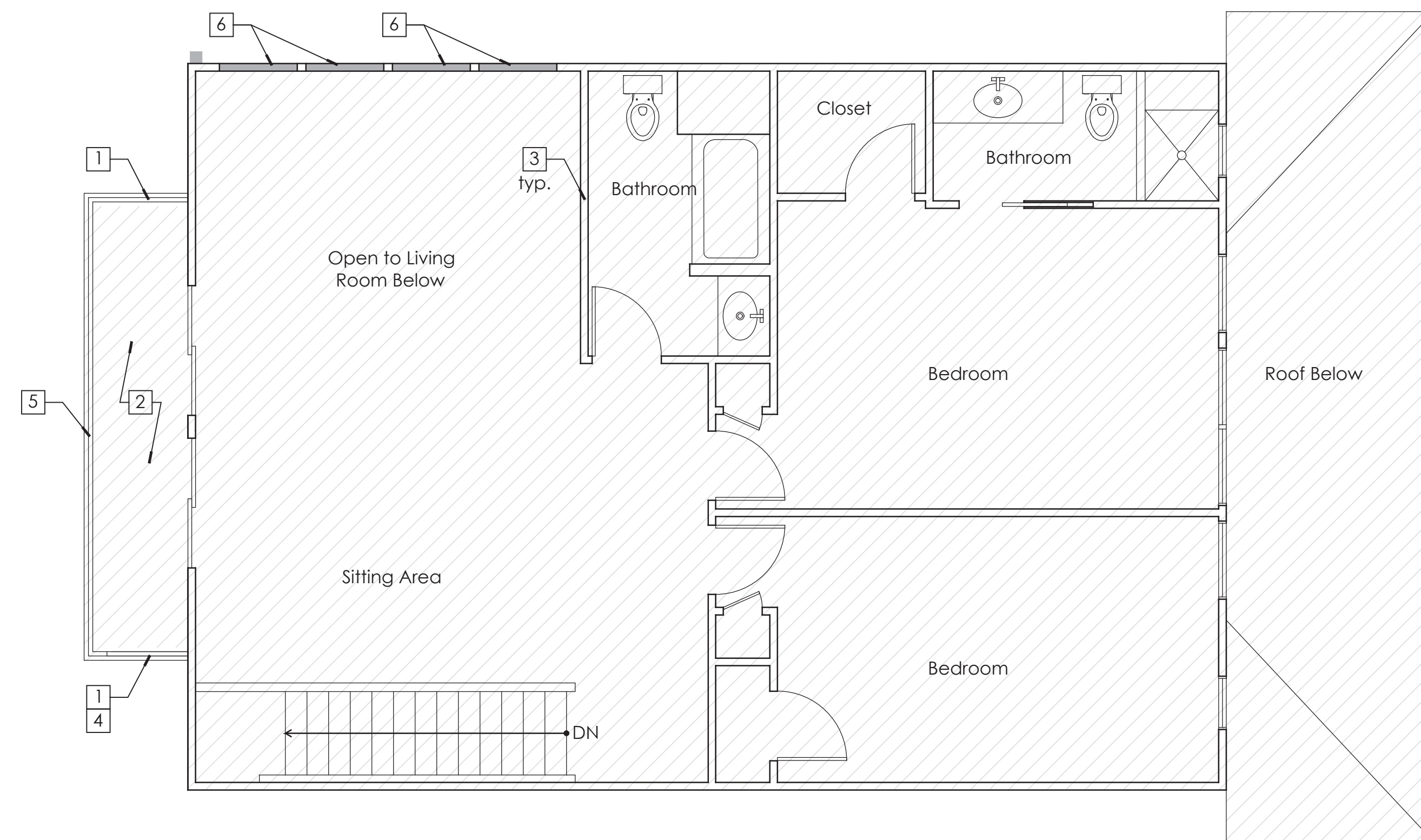
- 1 Portion of deck to be removed where the existing deck is in conflict with the extents of the new addition. Save and protect mahogany deck boards for use to repair on remaining deck
- 2 Existing window to be removed, prepare wall for infill. Existing through wall A/C unit to be removed, save & protect A/C unit.
- 3 Existing exterior door to be replaced with new reversed interior door at end of project and portion of wall to be remain with additional weather tight during renovation.
- 4 All existing structural walls and columns to remain and be protected throughout demolition and construction unless otherwise indicated.
- 5 Prepare for the installation of new deck stairs extending the existing stairs up to the new second level roof deck. See proposed plan.
- 6 Remove and retain exterior light fixture.
- 7 All deck railings to be replaced with horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.



□ - Indicates area not in scope  
■ - Indicates elements to be removed

**1 First Level - Demolition Floor Plan**  
1/4" = 1' - 0"

### Demolition Notes



- Indicates area not in scope  
 - Indicates elements to be removed

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- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
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- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

**Demolition Notes:**

- 1 Portion of deck railing to be removed where the existing deck will connect to the new stairs and new roof deck. See proposed plans. Save deck railing for reuse
- 2 Existing deck to remain and be protected during demolition and construction.
- 3 All existing structural walls and columns to remain and be protected throughout demolition and construction unless otherwise indicated.
- 4 Prepare for the installation of new deck stairs connecting the second level deck to the first level deck. See proposed plan
- 5 All deck railings to be replaced with horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.
- 6 Demolish openings in upper living room wall for new transom windows.

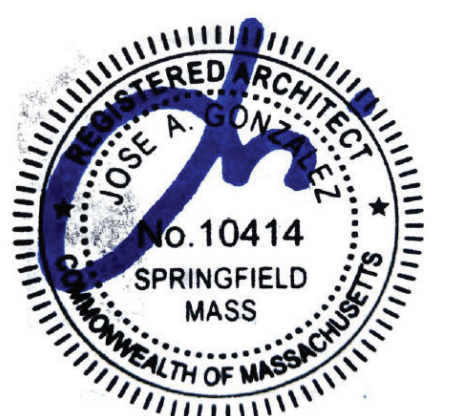
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No.	Date	Description
09-23-2021	09-23-2021	Permit Set

Drawing Title  
**Second Level Demolition Floor Plan**

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	17000
Drawing No.	D1.03

**1 Second Level - Demolition Floor Plan**  
1/4" = 1' - 0"

**Demolition Notes**



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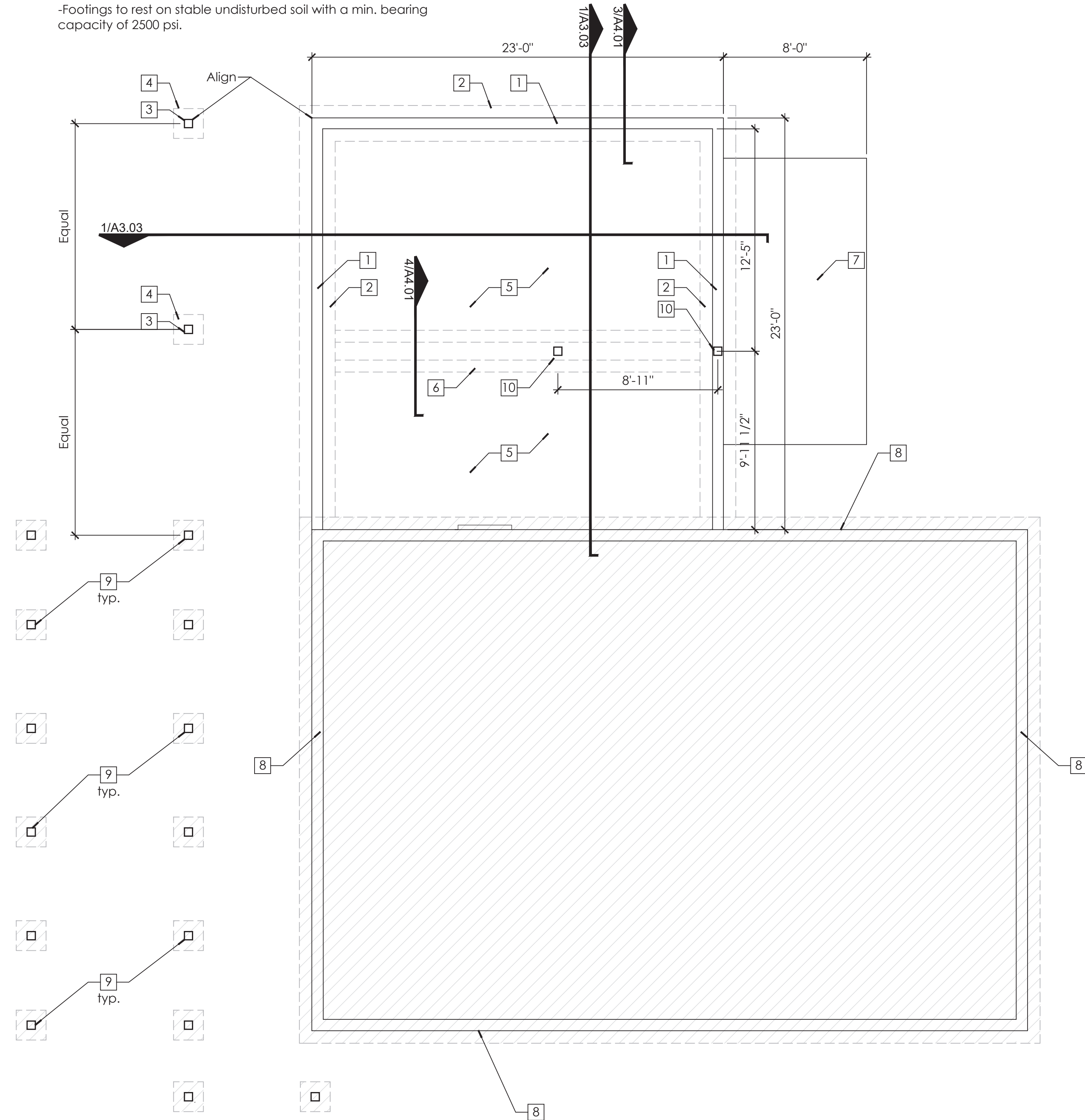
Drawing Title

Foundation Plan

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	1700
Drawing No.	

A1.00

Note:  
-Bottom of footing to be 12" below frost line, min.  
-Footings to rest on stable undisturbed soil with a min. bearing capacity of 2500 psi.



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

□ - Indicates area not in scope

General Notes:

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- GC to coordinate all work with home owner to minimize disturbances.
- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

General Notes

Notes:

- 1 New CMU foundation wall with vertical reinforcement.
- 2 Concrete footing with steel dowels to anchor foundation wall to footing.
- 3 Concrete pier @ deck posts with vertical reinforcement and lateral reinforcement ties. Posts to match existing deck posts.
- 4 Concrete pier footing with two way reinforcement with a steel dowel to anchor pier to footing.
- 5 4" Concrete slab on grade with welded wire fabric reinforcement on 6 MIL Visqueen vapor barrier and continuous rigid foam insulation.
- 6 Thickened slab with reinforcement @ interior load bearing partition.
- 7 4" Exterior patio concrete slab with welded wire fabric reinforcement with designate topping stone finish to drain away from the new addition. See details.
- 8 Existing foundation wall, footing, and slab to remain and be protected during demolition and construction.
- 9 Existing concrete deck piers and footing to remain and be protected during demolition and construction.
- 10 New columns as scheduled, see Structural Drawings.

Notes

1 Foundation Plan  
1/4" = 1' - 0"

\*All structural components and detailing shall be in accordance with Structural Drawing S.01

□ - Indicates area not in scope (unless otherwise indicated)  
 ■ - Indicates new construction

**General Notes:**

- Required demolition and repair of areas that are necessary to provide the finished work, but not specifically or implicitly indicated in the plans, are the responsibility of the Contractor.
- GC to coordinate all work with home owner to minimize disturbances.
- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

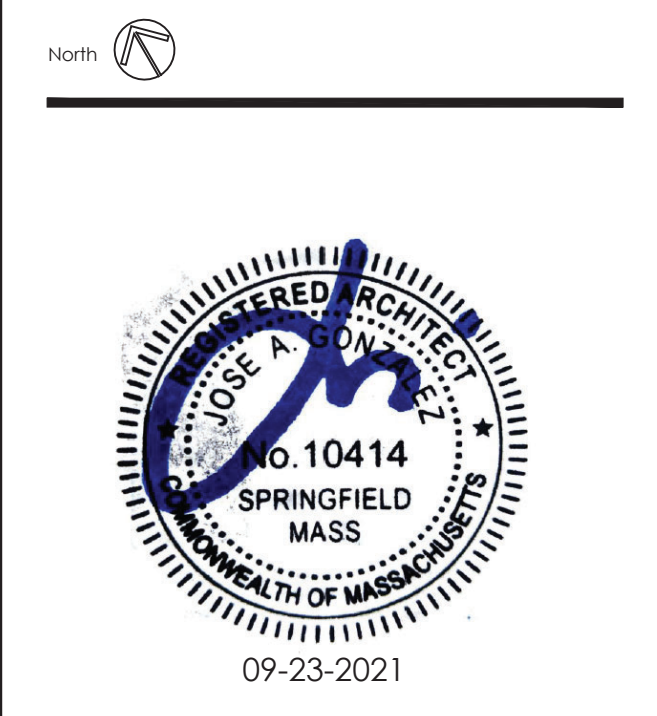
- General Notes**
- 1 New exterior 2x6 wall at new addition. See details.
  - 2 New 2x4 interior wall partitions as scheduled.
  - 3 New doors. See door schedule.
  - 4 New windows. See window schedule.
  - 5 New plumbing fixtures, as scheduled. See plumbing fixture schedule.
  - 6 New storage shelving. See details.
  - 7 New fitness equipment placement to be provided by owner. Coordinate all electrical/data requirements with equipment specifications.
  - 8 New rubber flooring at fitness room. See finish schedule and details.
  - 9 New tile bathroom flooring. See finish schedule.
  - 10 See interior elevations for all wall finishes. Typical.
  - 11 New tile shower flooring TILE-02 and tile shower surround TILE-03. See details.
  - 12 New Sliding door. See Door Schedule.
  - 13 New outlets to be provided as indicated. At vanity location provide GFI outlet.
  - 14 Existing HVAC equipment to remain and be protected throughout demolition and construction.
  - 15 36" high tile wet wall at Bathroom 003. See interior elevations and schedules.
  - 16 New lighted mirror above wet wall at Bathroom 003. See elevations and schedules.
  - 17 New HVAC central air unit on existing equipment pad.
  - 18 Additional step down added between new addition and existing basement level.
  - 19 New pool equipment pad. Coordinate with pool equipment consultant for required size and location of pad.
  - 20 Exterior Patio slab sloped to drain away from the new addition. See details.
  - 21 Add sound batt insulation on existing wall
  - 22 New propane boiler to replace existing oil boiler. Verfing venting detail
  - 23 Reviewing existing copper pipe for potential replacement as needed (Start with mechanical room and closet with water supply)
  - 24 Move well tanks to boiler room
  - 25 New water conditioner
  - 26 New shrub.
  - 27 Existing Basement sliding doors to be removed and replaced with new sliding doors. New doors shall match the size of the existing.
  - 28 Relocate electrical sub panel access that is currently located in the Mechanical room to the hall.
  - 29 Change Mechanical room door swing to swing out into the Hall.
  - 30 Add french drain and sump pump in Mechanical Room.
  - 31 Add power to existing thermostat locations.
  - 32 New interior 2x6 load bearing wall.
  - 33 New column concealed within wall to support new beam above. See Structural drawings.

Notes

**Basement Level - Floor Plan**  
 1/4" = 1' - 0"

**Hirsh Residence**  
 Master Bedroom Suite  
 and Basement Addition

12 Brook Hollow Road  
 West Tisbury, MA 02575



Registration Seal 14 NE First Avenue STE 500 Miami FL 33132  
 T +1 (305) 455 4216

No.	Date	Description
09-23-2021	Permit Set	

Drawing Title

**Basement Level  
 Floor Plan**

Scale As Noted  
 Date September 23, 2021  
 Drawn By RW  
 Project No. 17000  
 Drawing No.

**A1.01**



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

□ - Indicates area not in scope  
 ■ - Indicates new construction

**General Notes:**

- Required demolition and repair of areas that are necessary to provide the finished work, but not specifically or implicitly indicated in the plans, are the responsibility of the Contractor.
- GC to coordinate all work with home owner to minimize disturbances.
- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
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- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

- Notes:**
- 1 New painted gypsum board ceiling. See finish schedule.
  - 2 New recessed down lights as indicated with shading. See Lighting Schedule.
  - 3 New exterior wall mount lighting. See Lighting Schedule.
  - 4 New lighted mirror above wet wall at Bathroom 003. See elevations and schedules.
  - 5 New deck above.
  - 6 New beam above to support floor joists and 2nd floor load bearing wall above. See structural drawings

**Notes**

- Legend:**
- (LT-1) Recessed Down light
  - ⊕ (LT-2) Exterior Wall Mount Light
  - (MR-1) Lighted Mirror @ Bathroom 003

**Legend**

Hirsh Residence  
 Master Bedroom Suite  
 and Basement Addition

12 Brook Hollow Road  
 West Tisbury, MA 02575



Registration Seal 14 NE First Avenue STE 500 Miami FL 33132  
 T +1 (305) 455 4216 Address

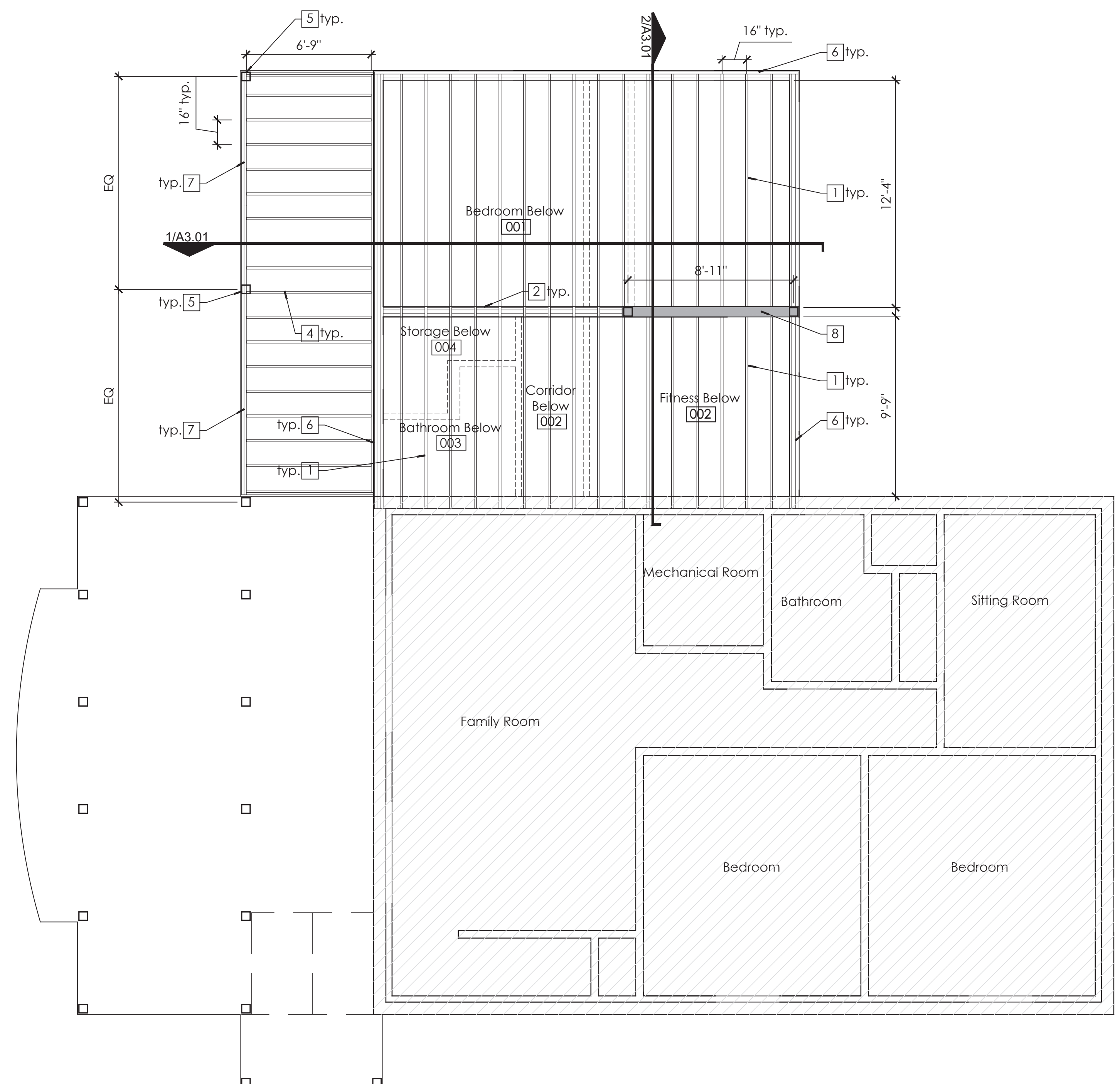
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No	Description
09-23-2021	Permit Set

Basement Level  
 Reflected Ceiling Plan

Scale: As Noted  
 Date: September 23, 2021  
 Drawn By: RW  
 Project No.: 17000  
 Drawing No.:

A1.01a

1 Basement Level - Reflected Ceiling Plan  
 1/4" = 1' - 0"



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

□ - Indicates area not in scope

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- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

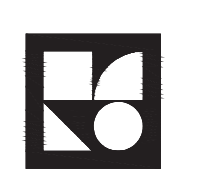
**General Notes**

- Notes:**
- 1 2x10 Floor joists @ 16" O.C.
  - 2 2X6 Interior load bearing stud wall @16" o.c.
  - 3 Dashed lines indicate non-load bearing partitions below.
  - 4 P.T. 2x6 deck joists @16" o.c.
  - 5 P.T. 6x6 wood deck post to match existing adjacent deck construction. See sections and details
  - 6 Exterior 2x6 load bearing wall. See sections and details.
  - 7 P.T. (2) 2x12 deck beam.
  - 8 New columns/ beam to support floor joists and 2nd floor load bearing wall above. See Structural drawings.
- All 2x structural framing members to be Douglas Fir Larch, #1 or better.

**Notes**

Hirsh Residence  
Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



**González Architects**  
Residential



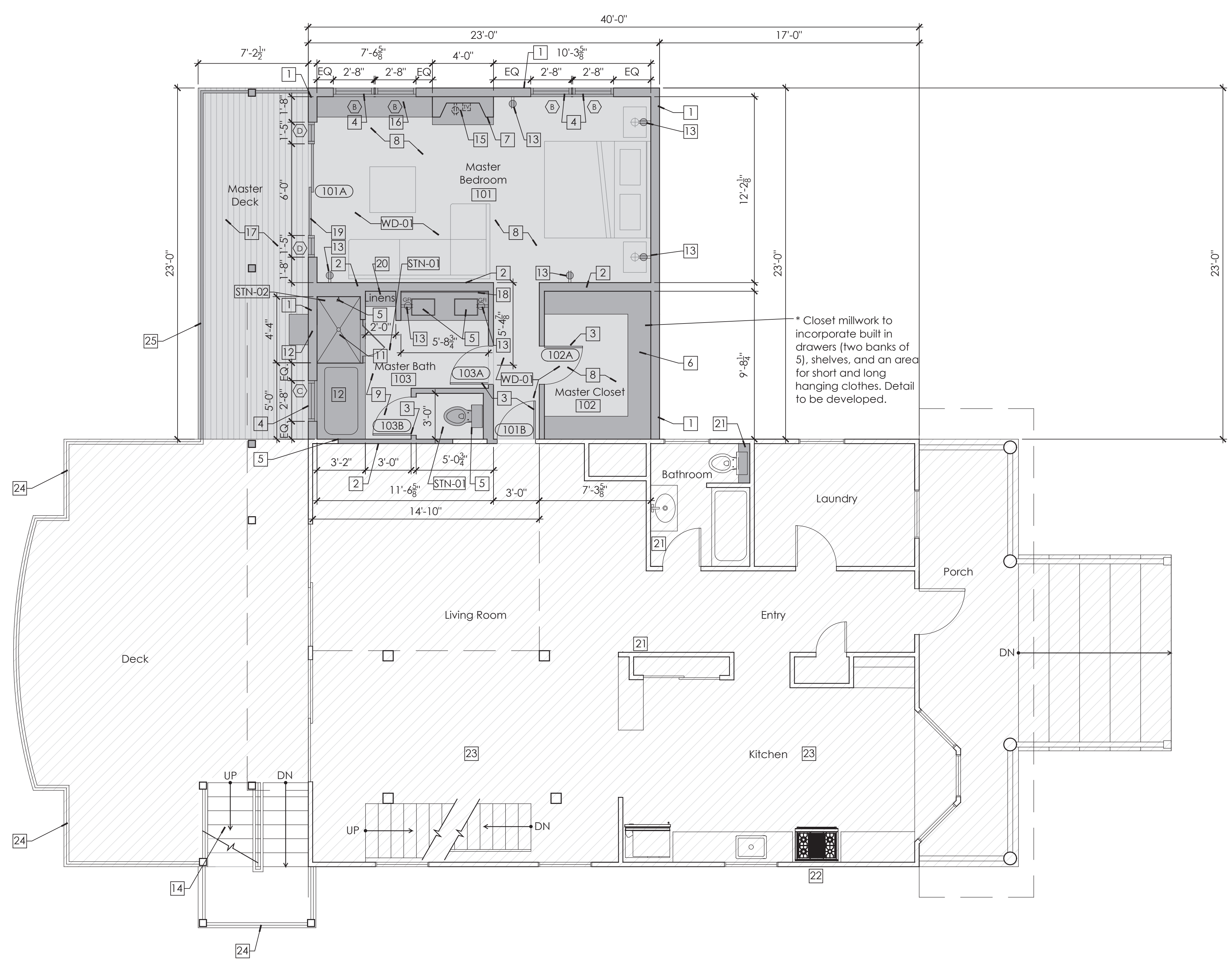
Registration Seal 14 NE First Avenue STE 500 Miami FL 33132  
Address T +1 (305) 455 4216

No.	Date	Description
09-23-2021	Permit Set	

Drawing Title  
**First Level Framing Plan**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17000  
Drawing No.

**A1.01b**



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

- Indicates area not in scope (unless otherwise indicated)
- Indicates new construction

**General Notes:**

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- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

- Notes:**
- 1 New exterior 2x6 walls. See wall types and wall section details.
  - 2 New interior 2x4 wall partitions as scheduled. See wall types.
  - 3 New doors. See door schedule.
  - 4 New windows. See window schedule.
  - 5 New plumbing fixtures, as scheduled. See plumbing fixture schedule.
  - 6 New master closet millwork. See interior elevations and details.
  - 7 New propane fireplace.
  - 8 New wood flooring in Master Bedroom and Master Closet to match flooring (south yellow pine) throughout the main house.
  - 9 New stone bathroom flooring. See finish schedule.
  - 10 See interior elevations for all wall finishes. Typical.
  - 11 New stone shower with glass partition and door. See details.
  - 12 New propane line for BBQ
  - 13 New outlets to be provided as indicated. At vanity locations provide GFI outlet.
  - 14 New deck stairs connecting the existing stairs to the second level deck and new roof deck. New stair to be consistent with existing stair.
  - 15 New TV, recessed outlet and data provided above fireplace.
  - 16 New built in desk. See detail drawings.
  - 17 New master deck. Deck species and finish to match existing deck. See details.
  - 18 New vanity mirror as scheduled. See elevations.
  - 19 New glass sliding doors with glass sidelights. See door schedule.
  - 20 New linen closet in Master Bath. See millwork details.
  - 21 Add power to existing thermostat locations.
  - 22 Add propane line to existing oven location.
  - 23 Replace existing ceiling fixture in Kitchen and Living Room with new fixture supplied by owner.
  - 24 All deck railings to be replaced with horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.
  - 25 New Master Deck to have new horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.

**Hirsh Residence**  
Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



**González Architects**  
Residential



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Address T +1 (305) 455 4216

Issued/Revised	
No.	Description
09-23-2021	Permit Set

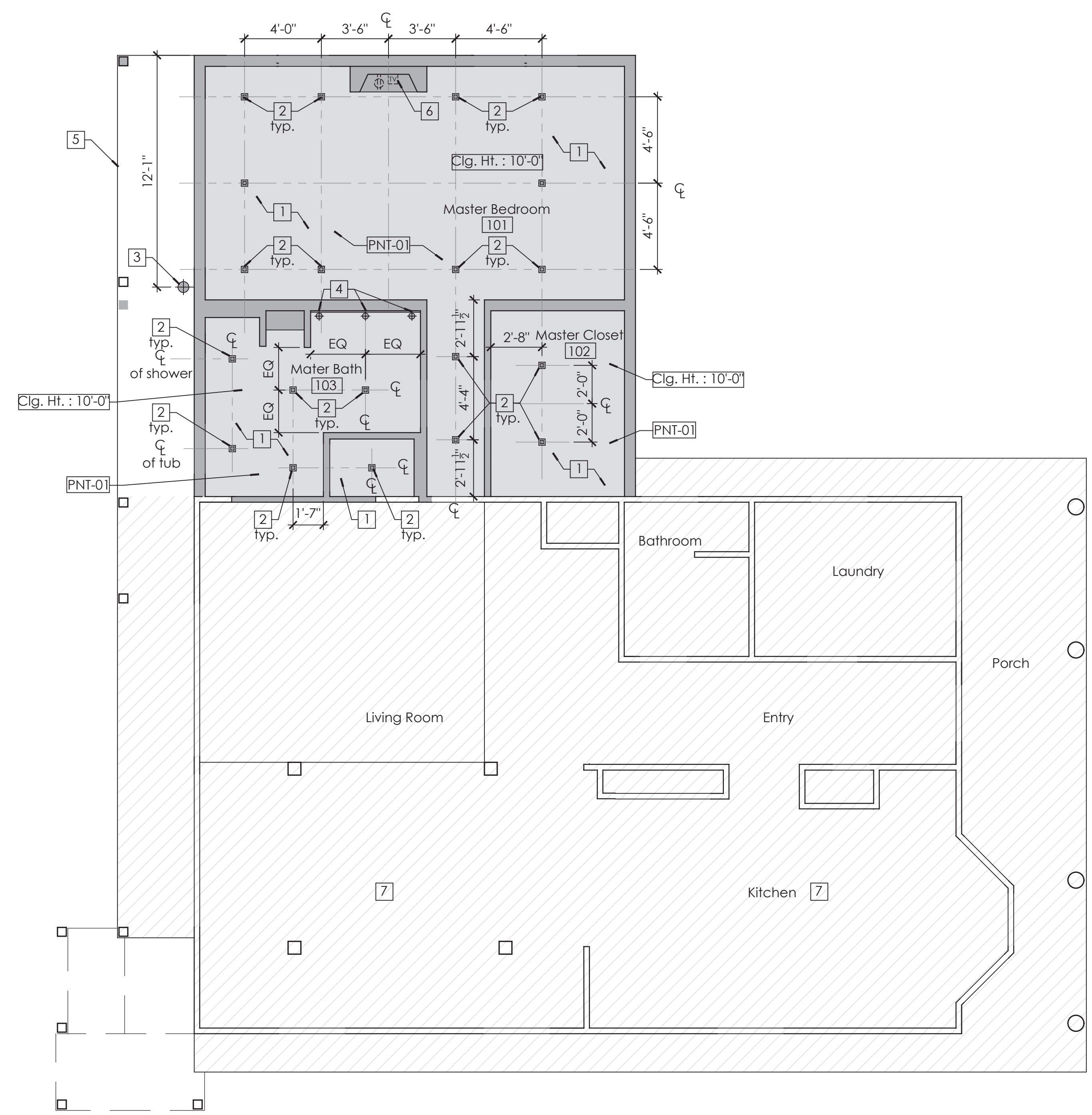
Drawing Title  
**First Level  
Floor Plan**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17000  
Drawing No.

**A1.02**

**1 First Level - Floor Plan**  
1/4" = 1' - 0"

**Notes**



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- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
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- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

- Notes:**
- 1 New painted gypsum board ceiling. See finish schedule.
  - 2 New recess down lights as indicated with shading. See Lighting Schedule.
  - 3 New exterior wall mount lighting. See Lighting Schedule.
  - 4 New Sconces @ Master Bathroom 103 Vanity.
  - 5 New deck above.
  - 6 New TV, recessed outlet and data provided above fireplace.
  - 7 Replace existing ceiling fixture in Kitchen and Living Room with new fixture supplied by owner.

**Notes**

- Legend:**
- (LT-1) Recessed Down light
  - ⊕ (LT-2) Exterior Wall Mount Light
  - ⊕ (LT-3) Sconces @ Master Bathroom 103 Vanity

**Legend**

Hirsh Residence  
 Master Bedroom Suite  
 and Basement Addition

12 Brook Hollow Road  
 West Tisbury, MA 02575



**González Architects**  
 Residential



Registration Seal 14 NE First Avenue STE 500 Miami FL 33132  
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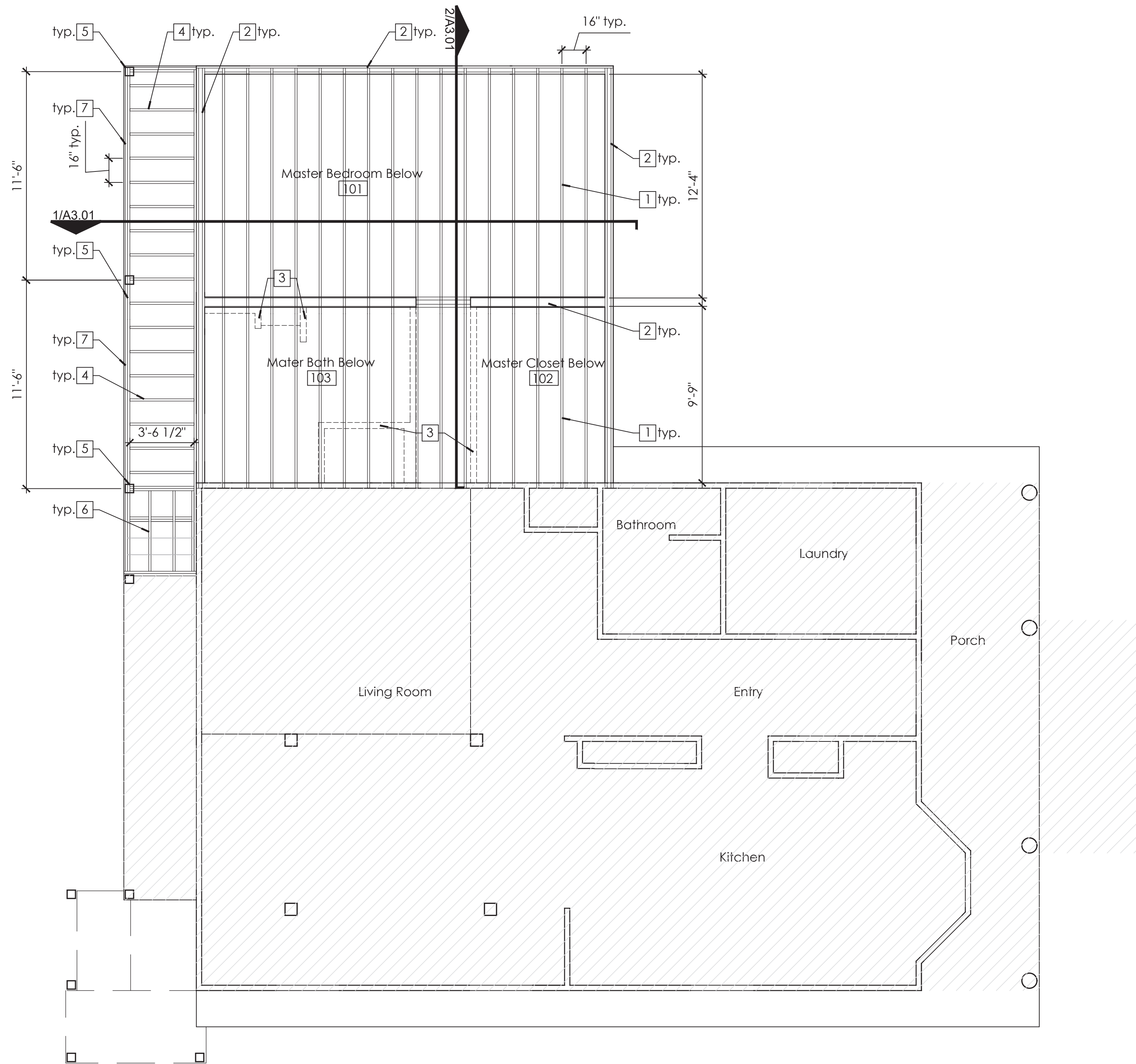
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No.	Description
09-23-2021	Permit Set

Drawing Title  
**First Level  
 Reflected Ceiling Plan**

Scale: As Noted  
 Date: September 23, 2021  
 Drawn By: RW  
 Project No.: 17000  
 Drawing No.:

**A1.02a**

**1 First Level - Reflected Ceiling Plan**  
 1/4" = 1' - 0"



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

☐ - Indicates area not in scope

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- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
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- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

- Notes:**
- 1 2x10 Roof joists @ 12" O.C.
  - 2 2X6 Load bearing stud wall @16" o.c.
  - 3 Dashed lines indicate non-load bearing partitions below.
  - 4 P.T. 2x6 deck joists @16" o.c.
  - 5 P.T. 6x6 wood deck post to match existing adjacent deck construction.
  - 6 P.T. 2x stair carriages and stringers. See stair details.
  - 7 P.T. (2) 2x12 deck beam.
- All 2x structural framing members to be Douglas Fir Larch, #1 or better.

**Notes**

**Hirsh Residence**

Master Bedroom Suite and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



**González Architects**  
Residential



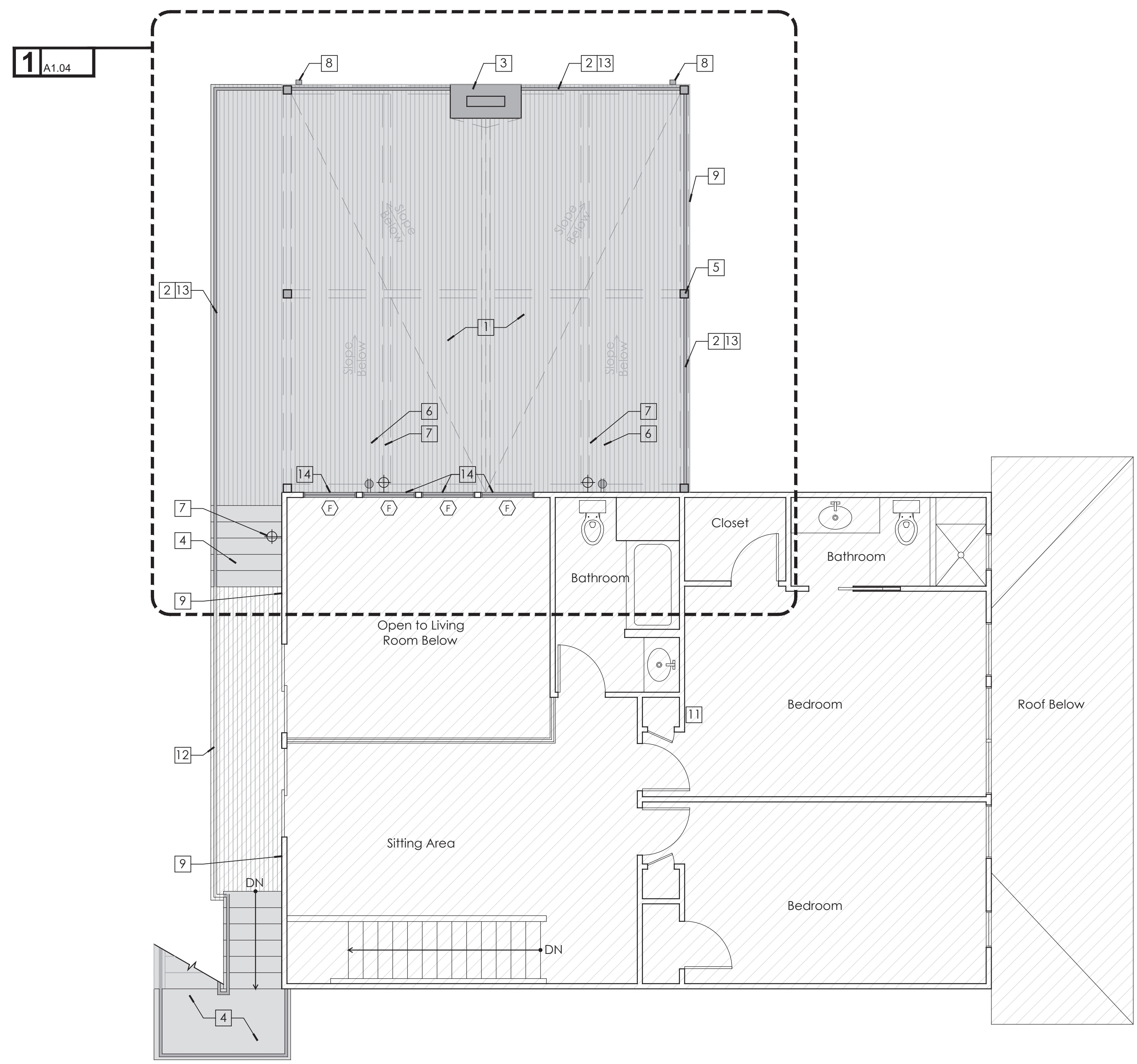
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No.	Date	Description
09-23-2021	09-23-2021	Permit Set

Drawing Title  
**First Level/Roof Framing Plan**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17000  
Drawing No.

**A1.02b**



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

- - Indicates area not in scope (unless otherwise indicated)
- - Indicates new construction

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- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
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- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

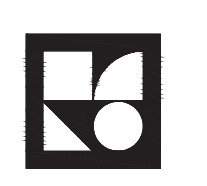
**General Notes**

- Notes:**
- 1 New roof deck over built up flat roof. New roof deck, wood width and orientation to match existing deck. See details.
  - 2 New roof deck to have new horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.
  - 3 New chimney. See detail.
  - 4 New deck stairs connecting the existing stairs to the second level deck and new roof deck. New stair to be consistent with existing stair.
  - 5 Wood posts to support roof trellis structure.
  - 6 New exterior wall outlet on roof deck.
  - 7 New wall mounted lighting on roof deck.
  - 8 Leader and down spout for roof drainage.
  - 9 New cedar shingles on addition to match existing house.
  - 10 Glass railing facing to water
  - 11 Add power to existing thermostat locations.
  - 12 All deck railings to be replaced with horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.
  - 13 Add electrical wiring for down lighting within new railing system.
  - 14 New transom windows in upper Living Room.

**Notes**

Hirsh Residence  
Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



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No.	Date	Description
09-23-2021	Permit Set	

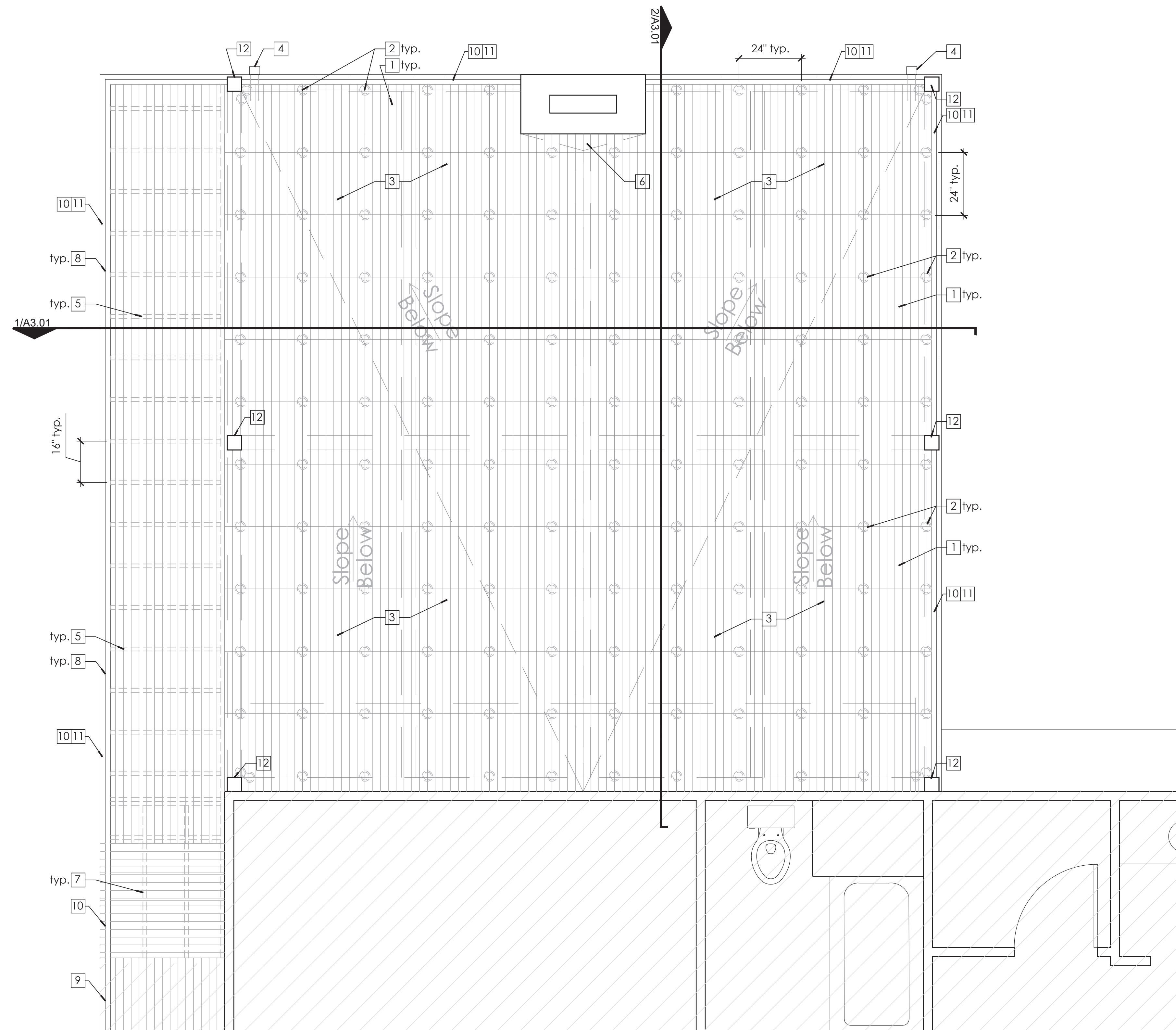
Drawing Title

Second Level  
Floor Plan

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17000  
Drawing No.

**A1.03**





\*All structural components and detailing shall be in accordance with Structural Drawing S.01

☐ - Indicates area not in scope

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- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

- Notes:**
- 24" x 24" Bison Wood Roof Deck Tiles to match existing deck species and finish on Pedestal System.
  - Level If Adjustable Pedestal System by Bison spaced @ 24" O.C. Refer to manufacturer's installation instructions.
  - Built up roof deck on tapered rigid foam insulation (min. thickness 1 1/2") @ 1/4" per foot slope min. on 3/4" plywood sheathing.
  - Leader and down spout for roof drainage.
  - Wood deck to match existing decking size, species and finish over 2x6 P.T. deck joists @ 16" O.C. See sections.
  - Cricket to be provided at chimney for drainage.
  - New stair treads and risers (to match existing deck species and finish) over new P.T. 2x carriagees.
  - P.T. (2) 2x12 deck beam.
  - All deck railings to be replaced with horizontal metal wire railing system. Gaps between wires shall be less then 4" typical.
  - New roof deck to have new horizontal metal wire railing system. Gaps between wires shall be less then 4" typical.
  - Add electrical wiring for down lighting within new railing system.
  - Wood posts to support roof trellis structure.

**Notes**

Hirsh Residence  
Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



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No.	Description
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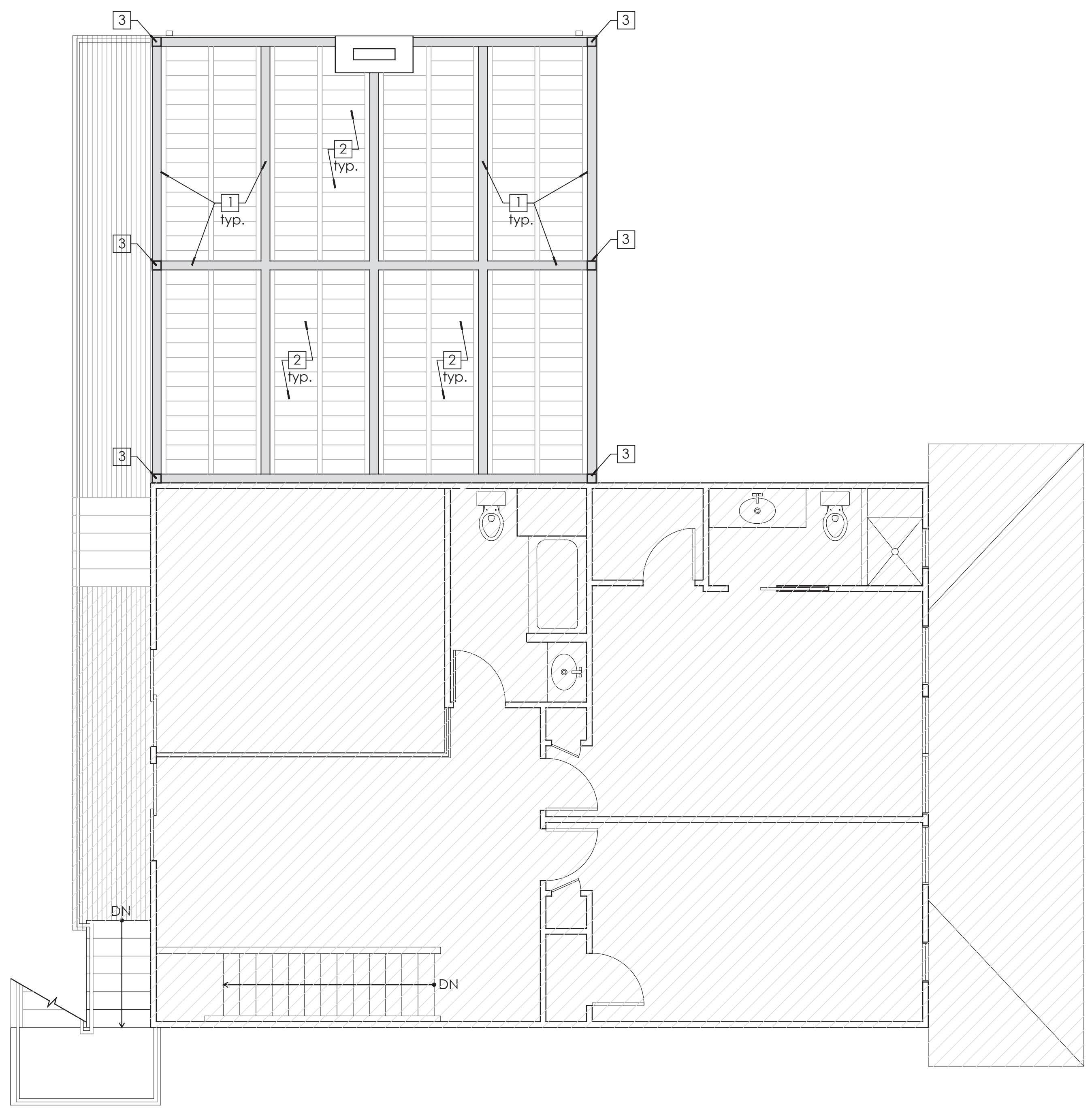
Second Level Deck  
Enlarged Plan

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17200  
Drawing No.

**A1.03a**

**1 Second Level Deck - Enlarged Plan**  
1/4" = 1' - 0"

**Notes**



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

☐ - Indicates area not in scope

**General Notes:**

- Required demolition and repair of areas that are necessary to provide the finished work, but not specifically or implicitly indicated in the plans, are the responsibility of the Contractor.
- GC to coordinate all work with home owner to minimize disturbances.
- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All dimensions throughout to be verified in field. Shop drawings and samples to be provided before fabrication of all millwork pieces.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- Existing electrical outlets, switches, phone, and data to remain throughout, unless otherwise indicated. Protect during demolition and construction. When electrical devices are installed in partitions or ceilings to be removed, the electrical contractor shall disconnect them up to the next outlet to remain or back to the panel board. If existing to remain outlets are fed through demolished partitions or ceilings, the circuit shall be rearranged to maintain circuit continuity. Wire shall be removed back to the source from inaccessible raceways not re-used. Install blank plates on flush outlets not re-used. Plate color shall match adjacent surface near as possible in finished areas. Final finish to be consulted with the Architect.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Provide blocking at all wall mounted accessories, fixtures, etc.
- Where existing wall or floor mounted elements are removed, patch disturbed surfaces to match existing adjacent and prepare to receive new finishes as scheduled.
- All new floor finishes to be installed under cabinetry and millwork, typical.
- All existing conditions in these plans are based on As-Built Floor Plans by MacNelly-Cohen Architects. Existing conditions and dimensions should be verified by contractor for accuracy and any discrepancies shall be reported to the Architect in writing prior to commencement of work.

**General Notes**

- Notes:**
- 1 4" x 12" Wood beam
  - 2 Metal cable with retractable canvas
  - 3 Wood posts to support roof trellis structure.

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and Basement Addition

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09-23-2021	Permit Set

Drawing Title

Roof Plan

Scale As Noted

Date September 23, 2021

Drawn By RW

Project No. 17000

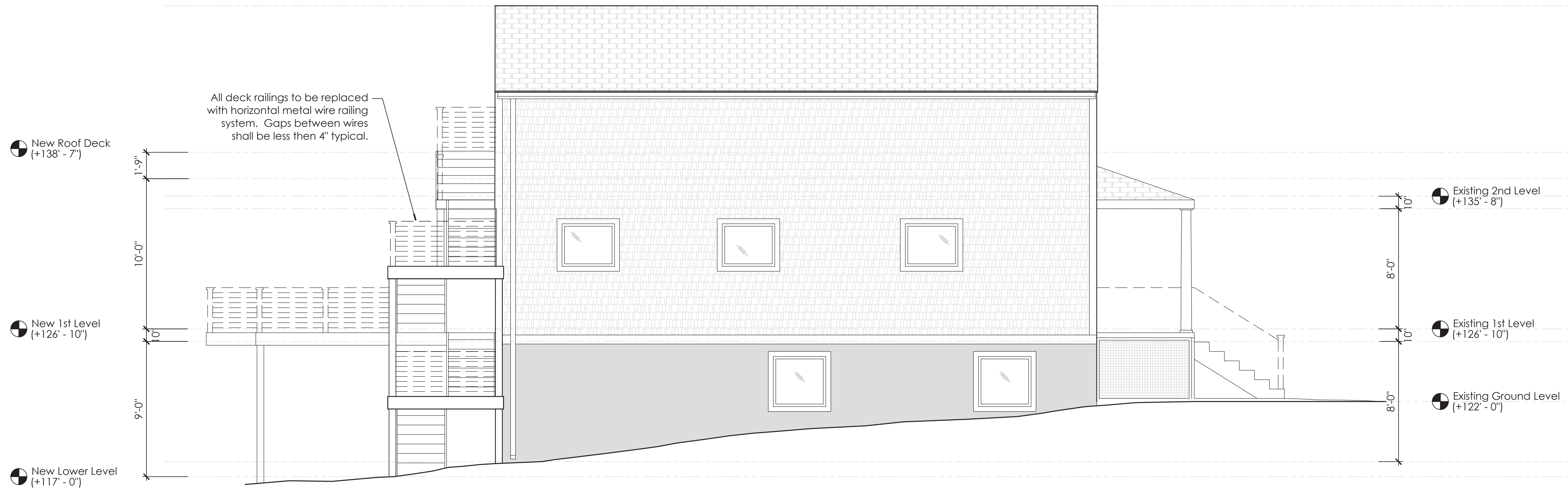
Drawing No.

A1.04

**1 Second Level Deck - Enlarged Plan**  
1/4" = 1' - 0"



**1** Front Exterior Elevation  
1/4" = 1' - 0"



**2** South Exterior Elevation  
1/4" = 1' - 0"

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West Tisbury, MA 02575



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No.	Date	Description
09-23-2021	Permit Set	

Drawing Title  
**Exterior Elevations  
Existing Roof  
Alternative Option**

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	17000
Drawing No.	

**A2.01**

Hirsh Residence

Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



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No.	Date
09-23-2021	Permit Set

Drawing Title  
**Exterior Elevations**

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	1722
Drawing No.	

**A2.02**



**1** North Exterior Elevation  
1/4" = 1' - 0"



**2** Rear Exterior Elevation  
1/4" = 1' - 0"

Hirsh Residence  
Master Bedroom Suite  
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12 Brook Hollow Road  
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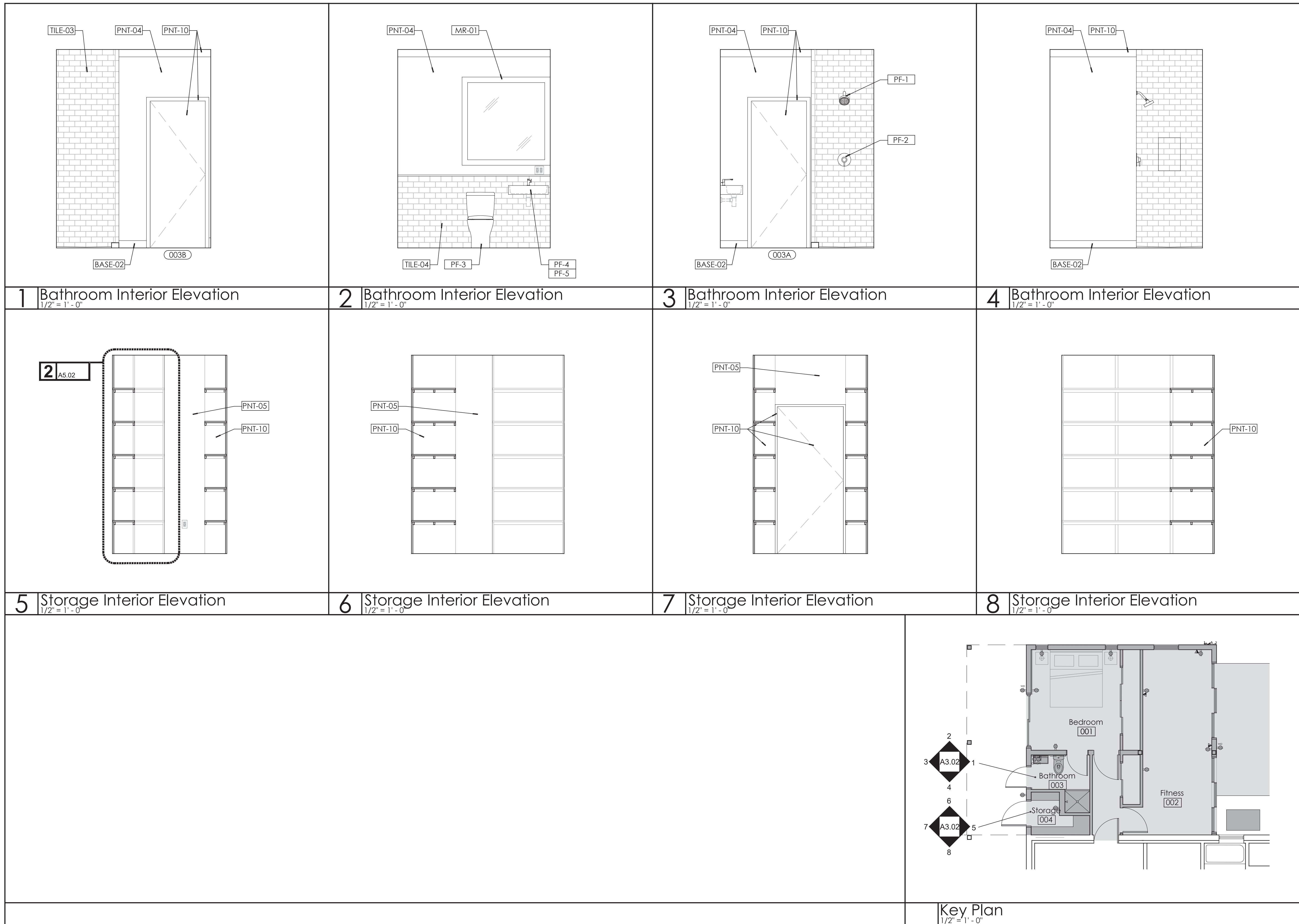
Issued/Revised  
No. Date Description  
09-23-2021 Permit Set

Drawing Title  
**Interior Elevations**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17200  
Drawing No.

**A3.01**

<p><b>1</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	<p><b>2</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	<p><b>3</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	<p><b>4</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	
<p><b>5</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	<p><b>6</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	<p><b>7</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	<p><b>8</b> Fitness Interior Elevation 1/2" = 1' - 0"</p>	<p><b>9</b> Bedroom Interior Elevation 1/2" = 1' - 0"</p>
<p><b>10</b> Bedroom Interior Elevation 1/2" = 1' - 0"</p>	<p><b>11</b> Bedroom Interior Elevation 1/2" = 1' - 0"</p>	<p><b>12</b> Bedroom Interior Elevation 1/2" = 1' - 0"</p>	<p><b>Key Plan</b> 1/2" = 1' - 0"</p>	



Hirsh Residence  
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12 Brook Hollow Road  
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No.	Date	Description
09-23-2021	09-23-2021	Permit Set

Drawing Title  
**Interior Elevations**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17000  
Drawing No.

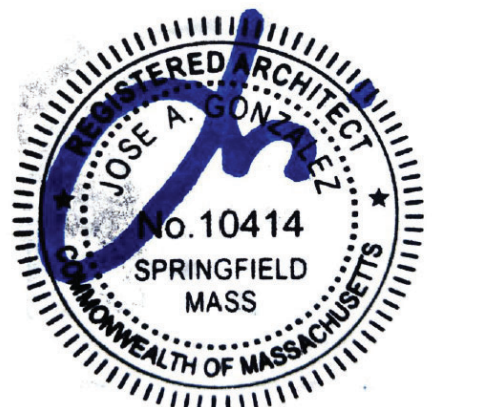
**A3.02**

Hirsh Residence  
Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



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09-23-2021

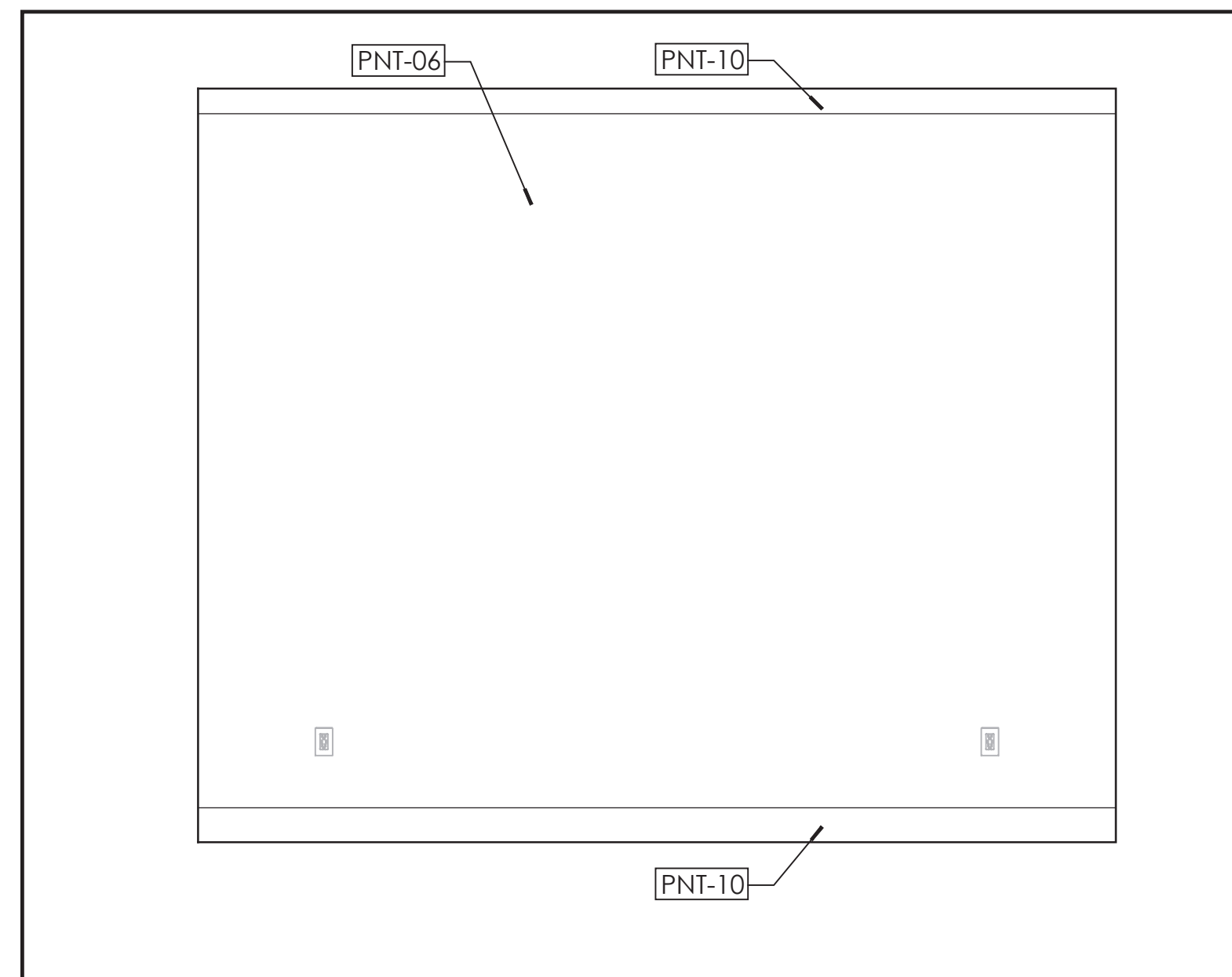
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No. Date Description  
09-23-2021 Permit Set

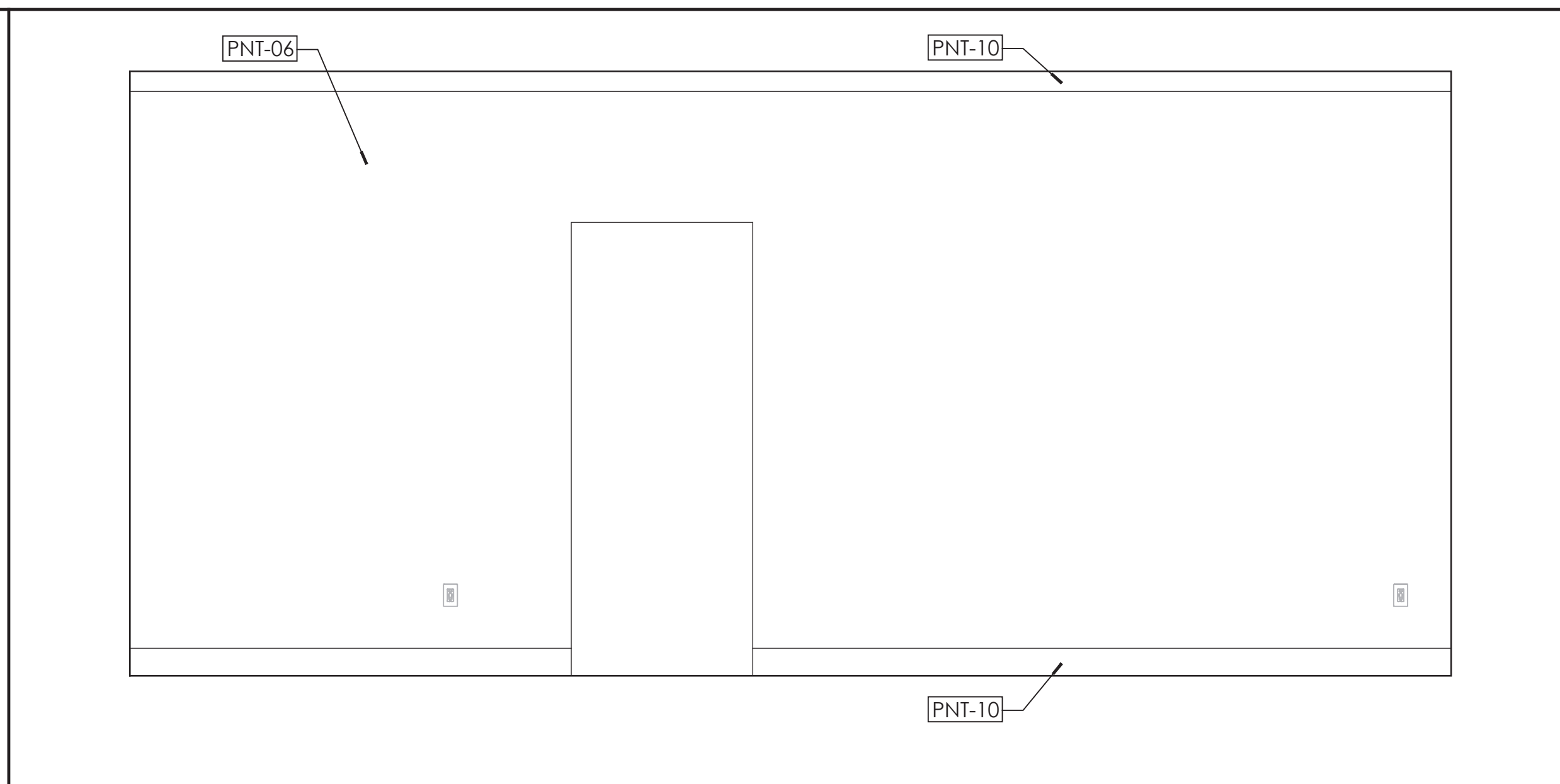
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**Interior Elevations**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17200  
Drawing No.

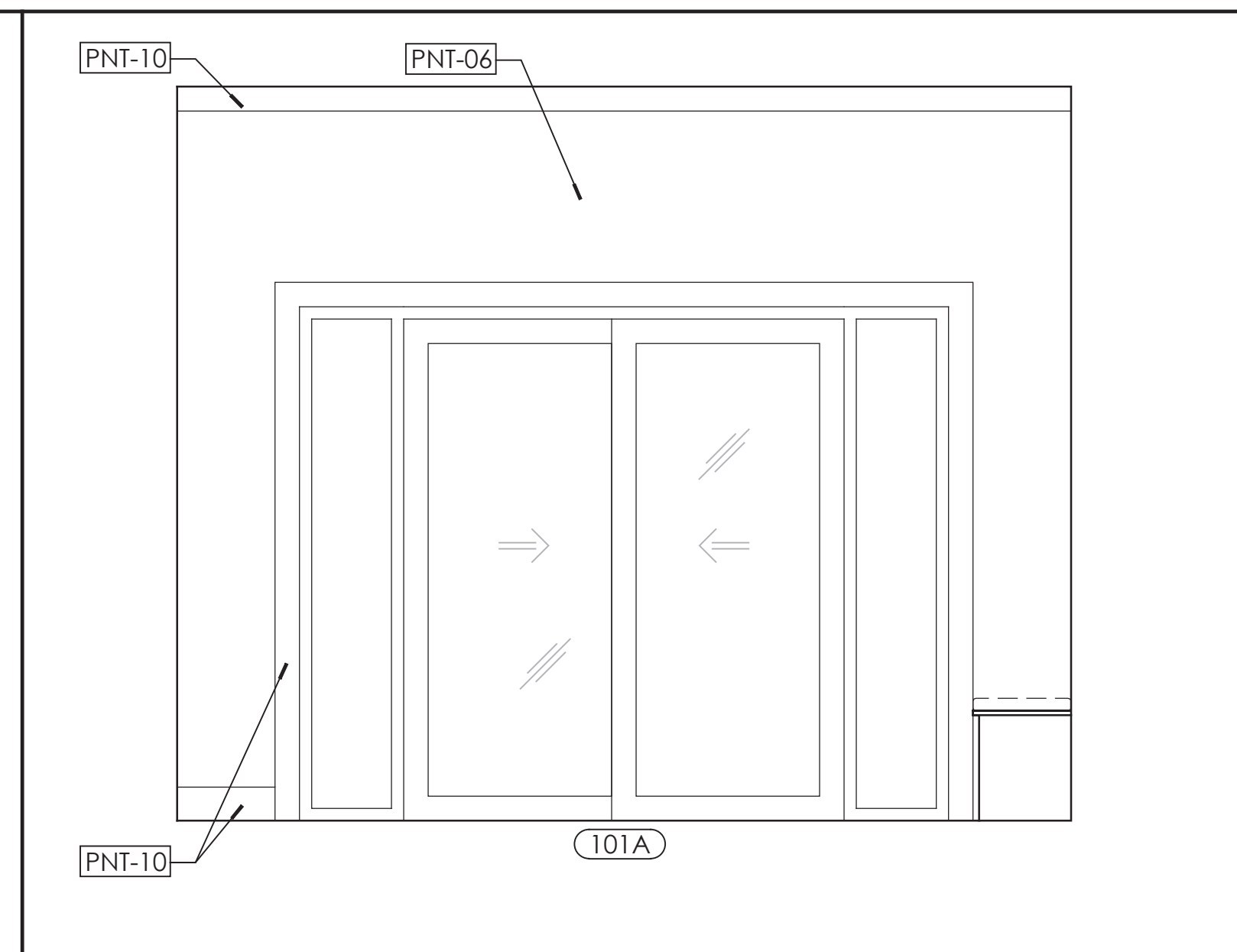
**A3.03**



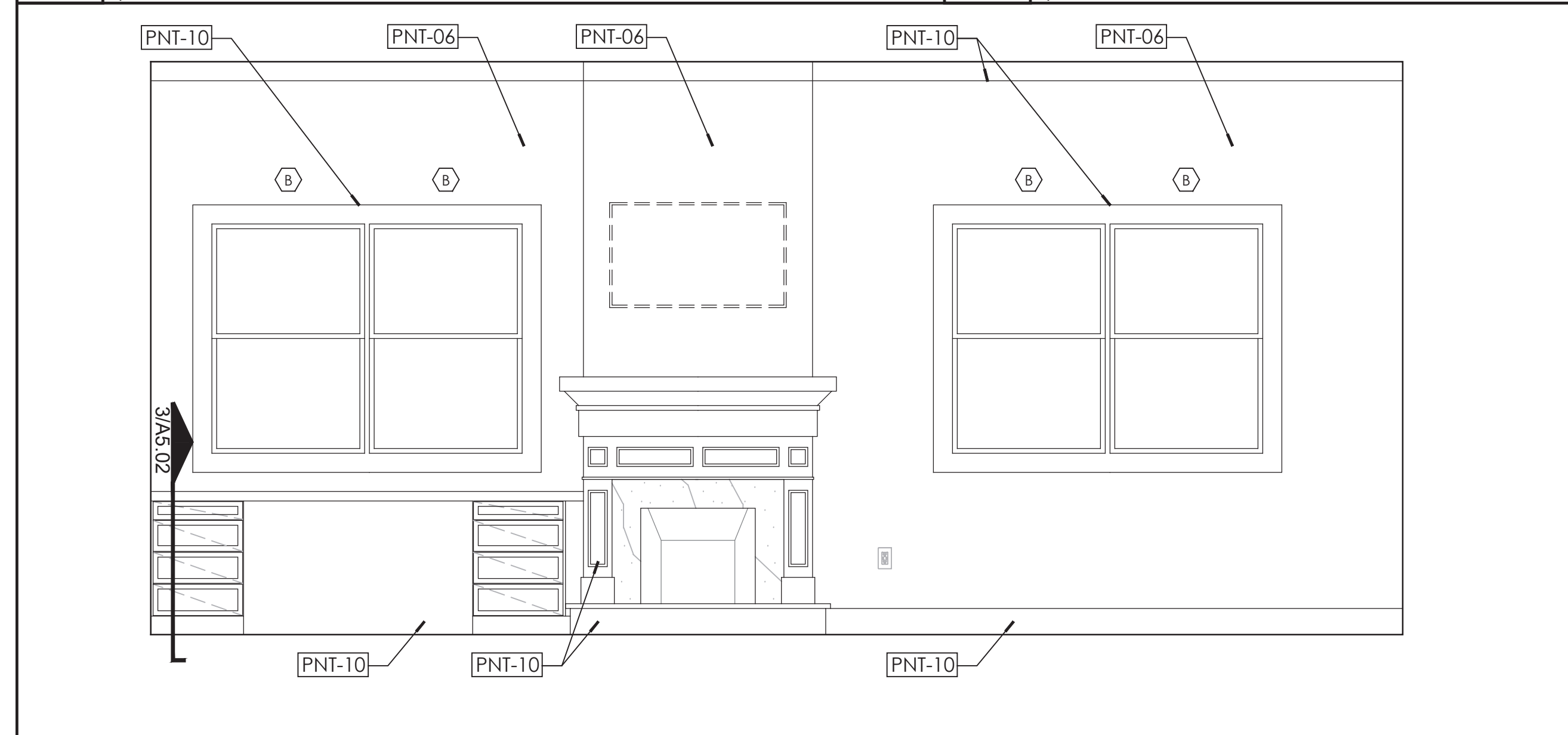
**1** Master Bedroom Interior Elevation  
1/2" = 1' - 0"



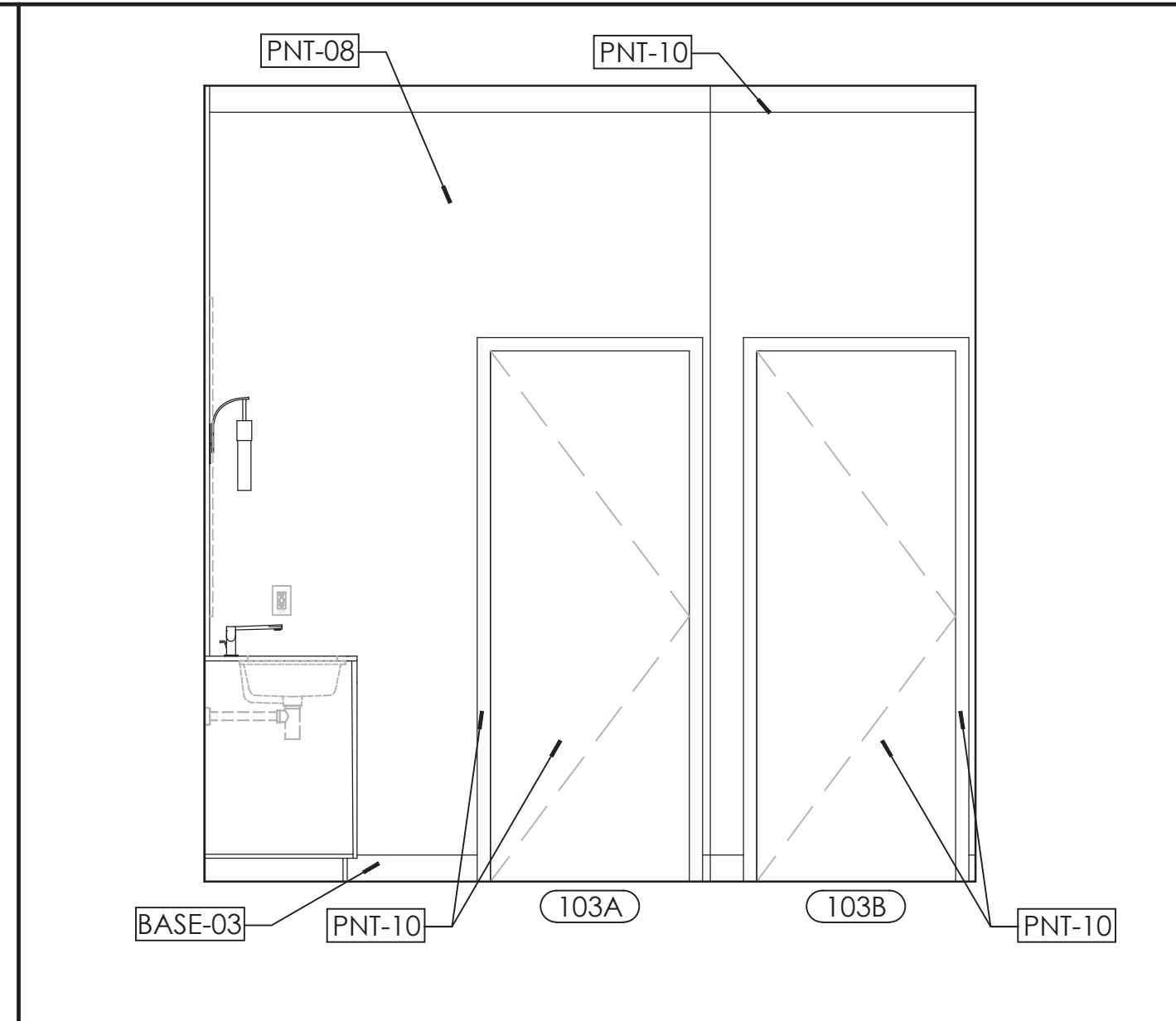
**2** Master Bedroom Interior Elevation  
1/2" = 1' - 0"



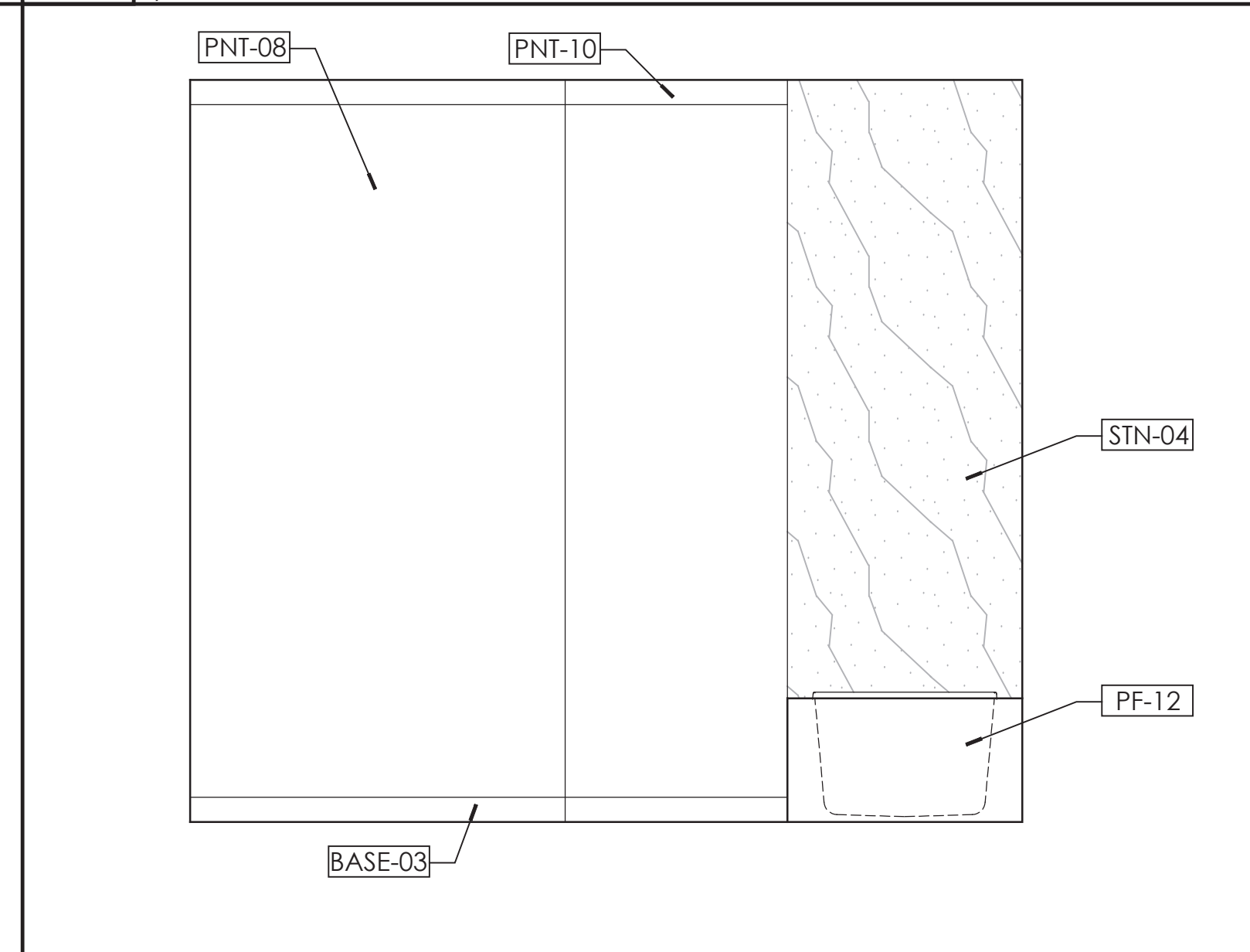
**3** Master Bedroom Interior Elevation  
1/2" = 1' - 0"



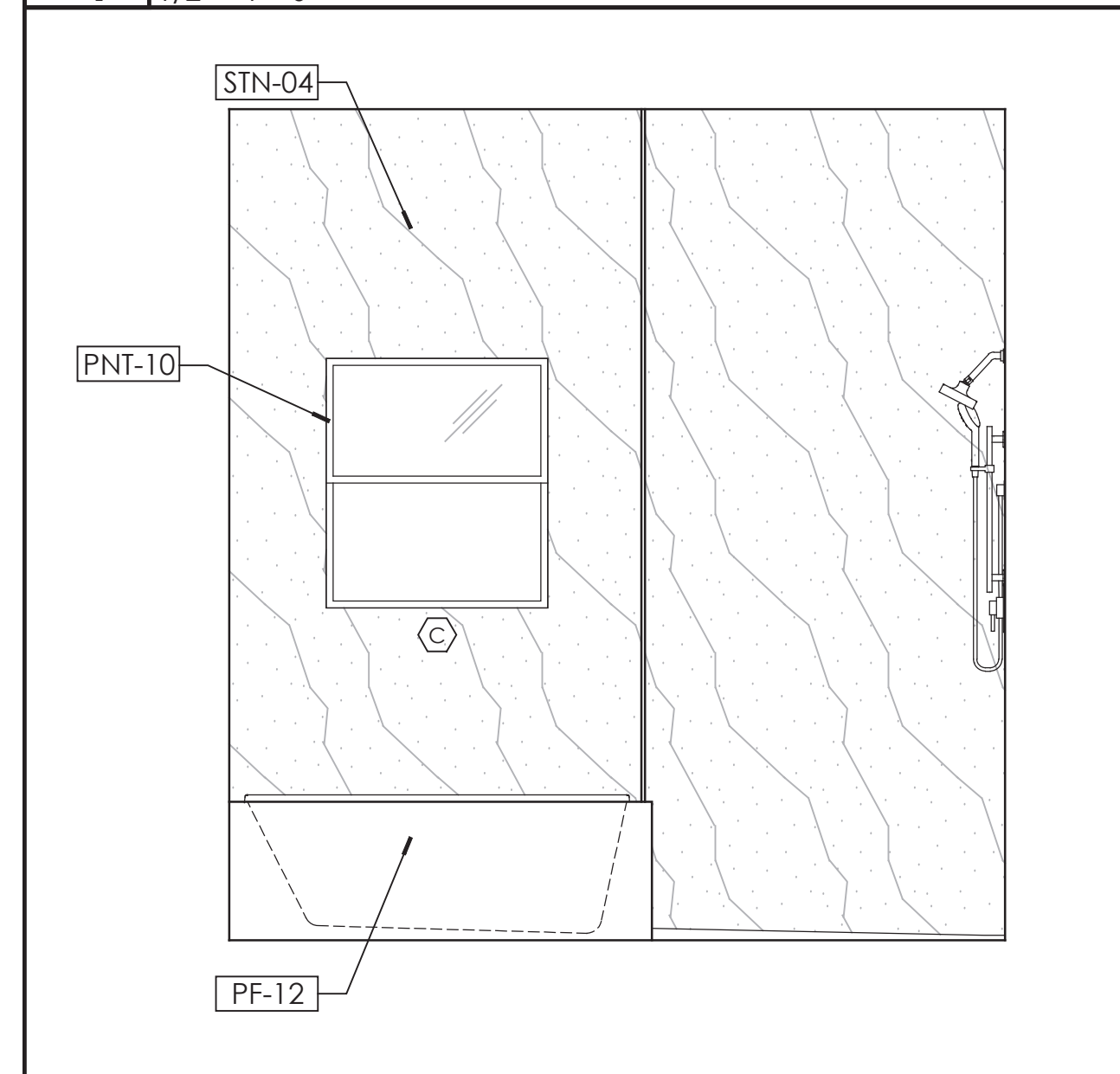
**4** Master Bedroom Interior Elevation  
1/2" = 1' - 0"



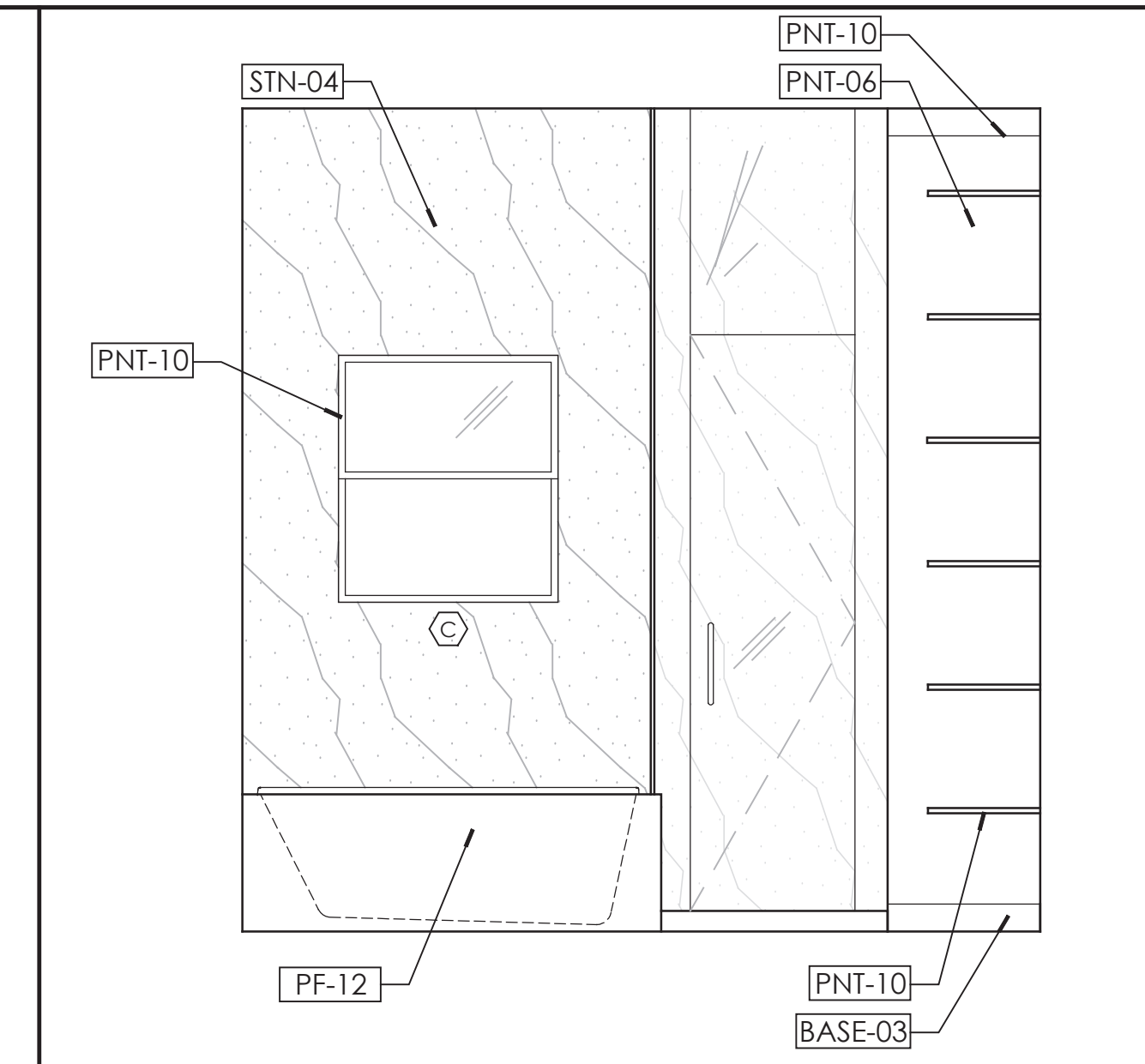
**5** Master Bathroom Interior Elevation  
1/2" = 1' - 0"



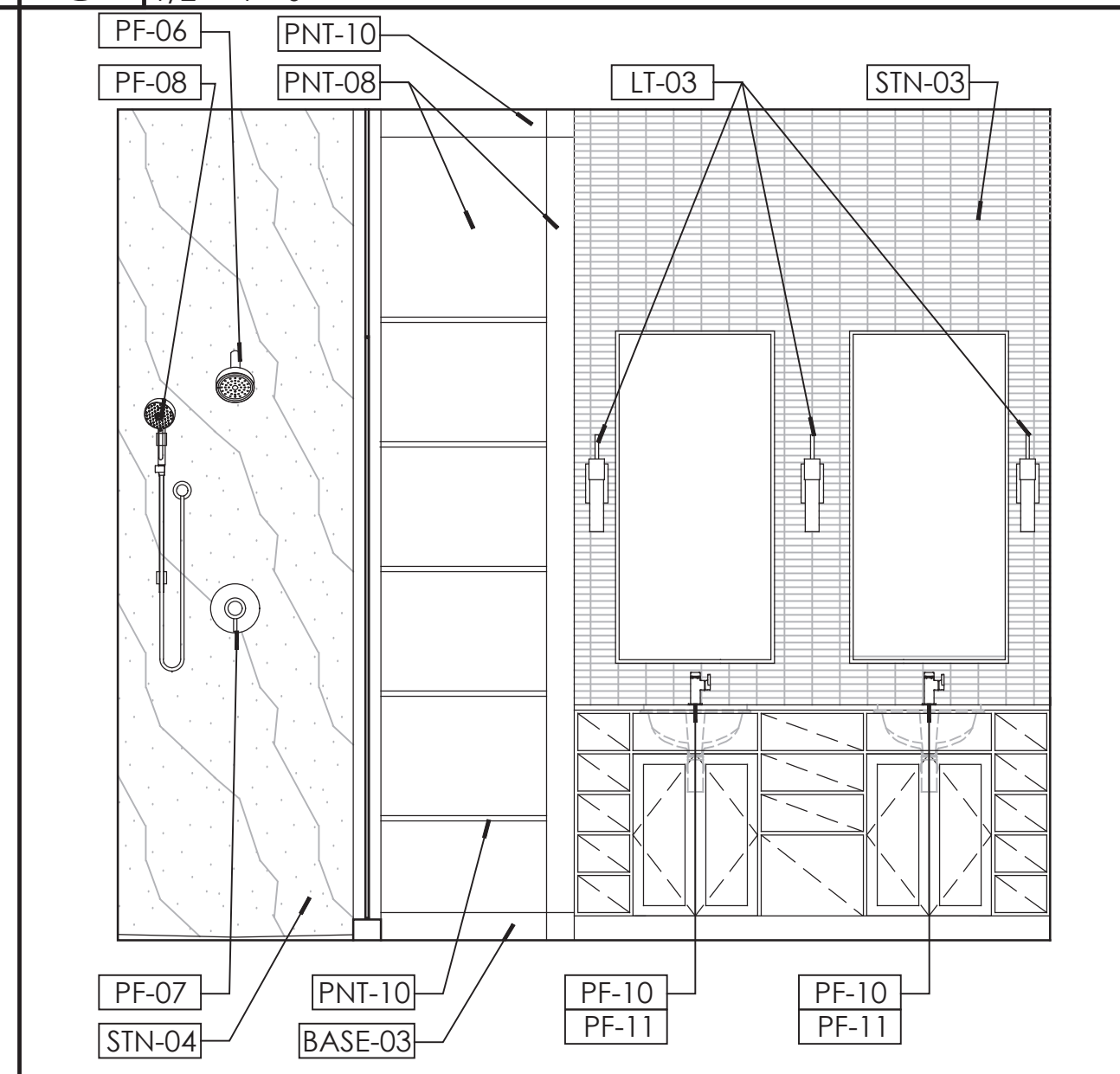
**6** Master Bathroom Interior Elevation  
1/2" = 1' - 0"



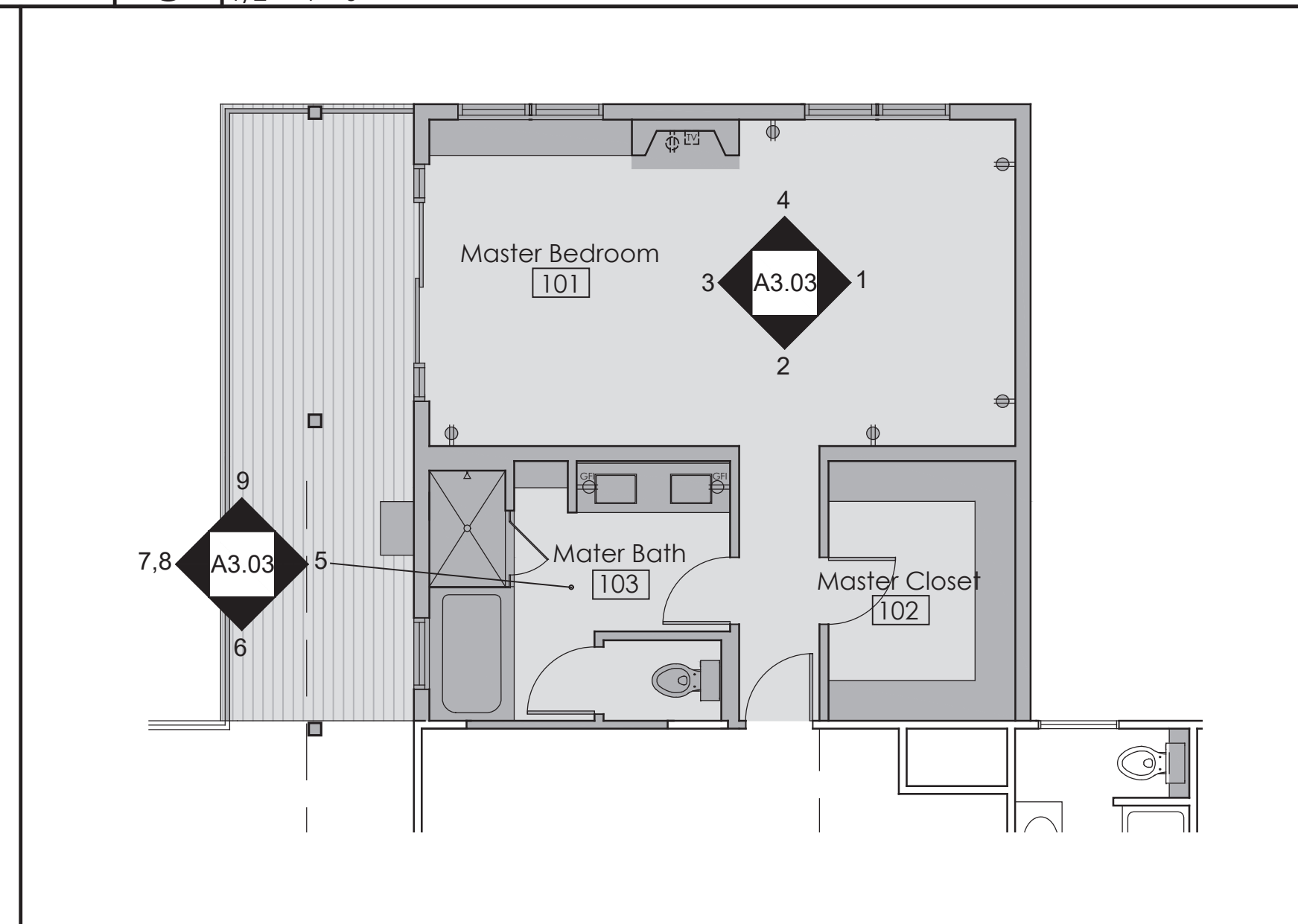
**7** Master Bathroom Interior Elevation  
1/2" = 1' - 0"



**8** Master Bathroom Interior Elevation  
1/2" = 1' - 0"



**9** Master Bathroom Interior Elevation  
1/2" = 1' - 0"



**Key Plan**  
1/2" = 1' - 0"

Hirsh Residence  
Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
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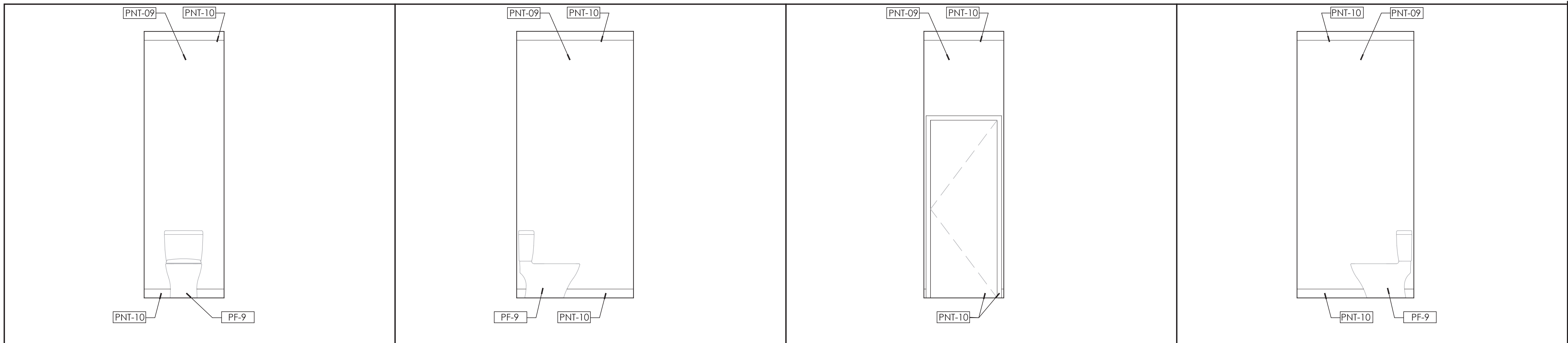


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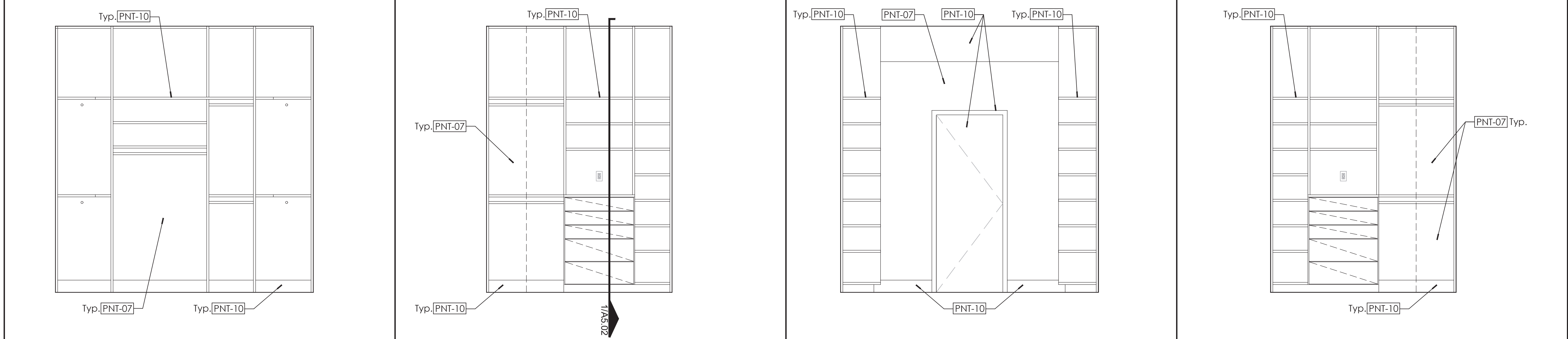
No.	Date	Description
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Drawing Title  
**Interior Elevations**

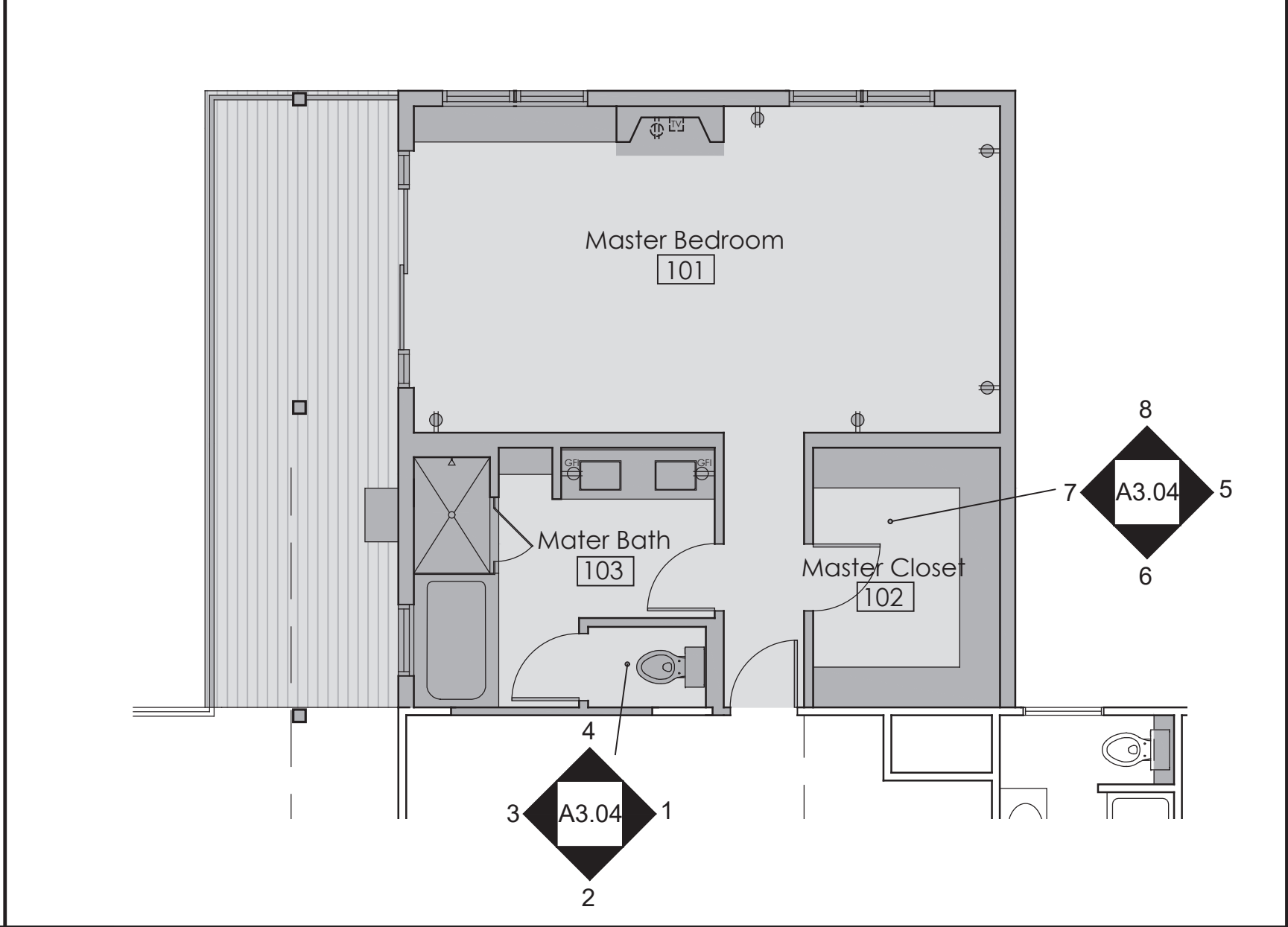
Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	1700
Drawing No.	<b>A3.04</b>



**1** Master Toilet Room Interior Elevation  
1/2" = 1' - 0"  
**2** Master Toilet Room Interior Elevation  
1/2" = 1' - 0"  
**3** Master Toilet Room Interior Elevation  
1/2" = 1' - 0"  
**4** Master Toilet Room Interior Elevation  
1/2" = 1' - 0"

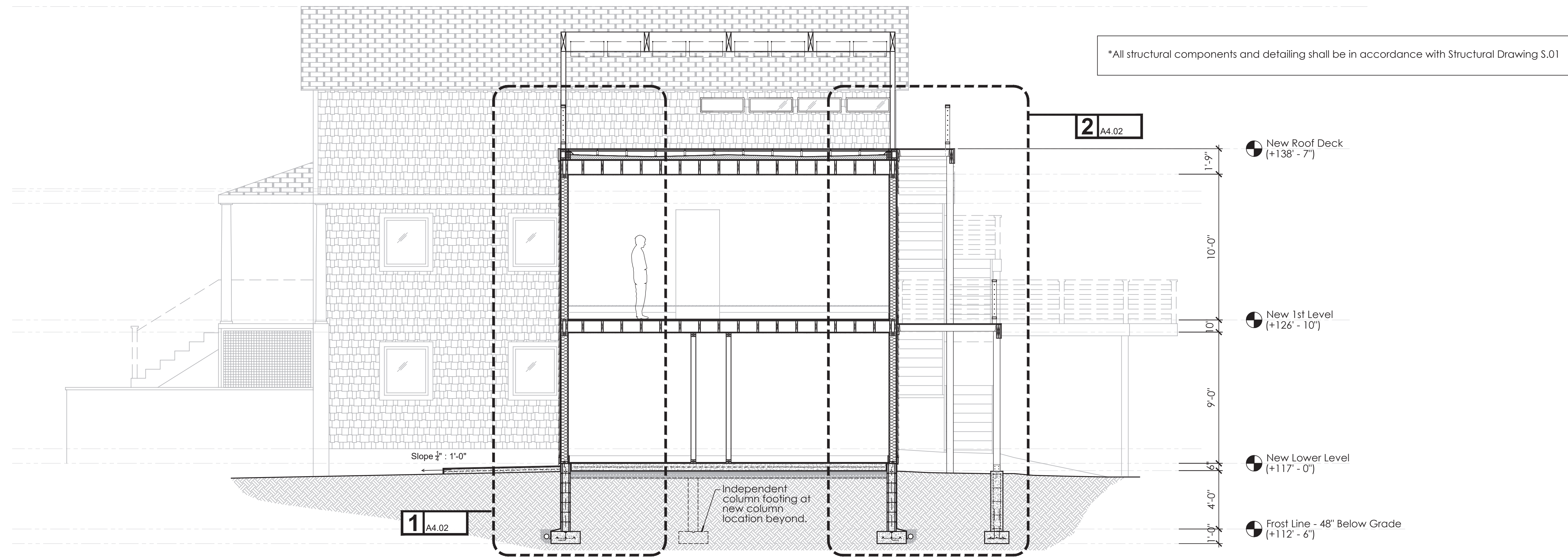


**5** Master Closet Interior Elevation  
1/2" = 1' - 0"  
**6** Master Closet Interior Elevation  
1/2" = 1' - 0"  
**7** Master Closet Interior Elevation  
1/2" = 1' - 0"  
**8** Master Closet Interior Elevation  
1/2" = 1' - 0"

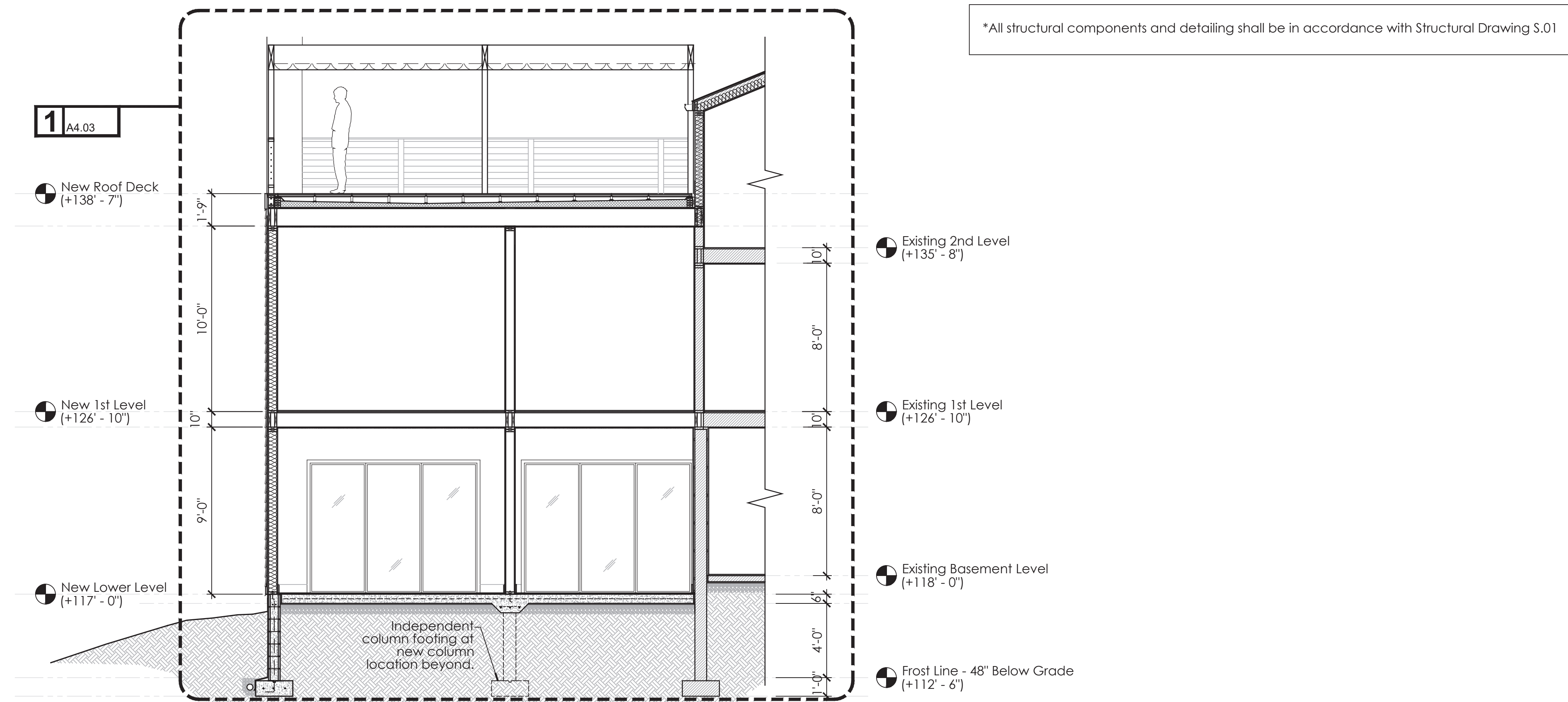


**Key Plan**  
1/2" = 1' - 0"





**1** Overall Addition Section 1  
1/4" = 1' - 0"



**2** Overall Addition Section 2  
1/4" = 1' - 0"

Hirsh Residence

Master Bedroom Suite  
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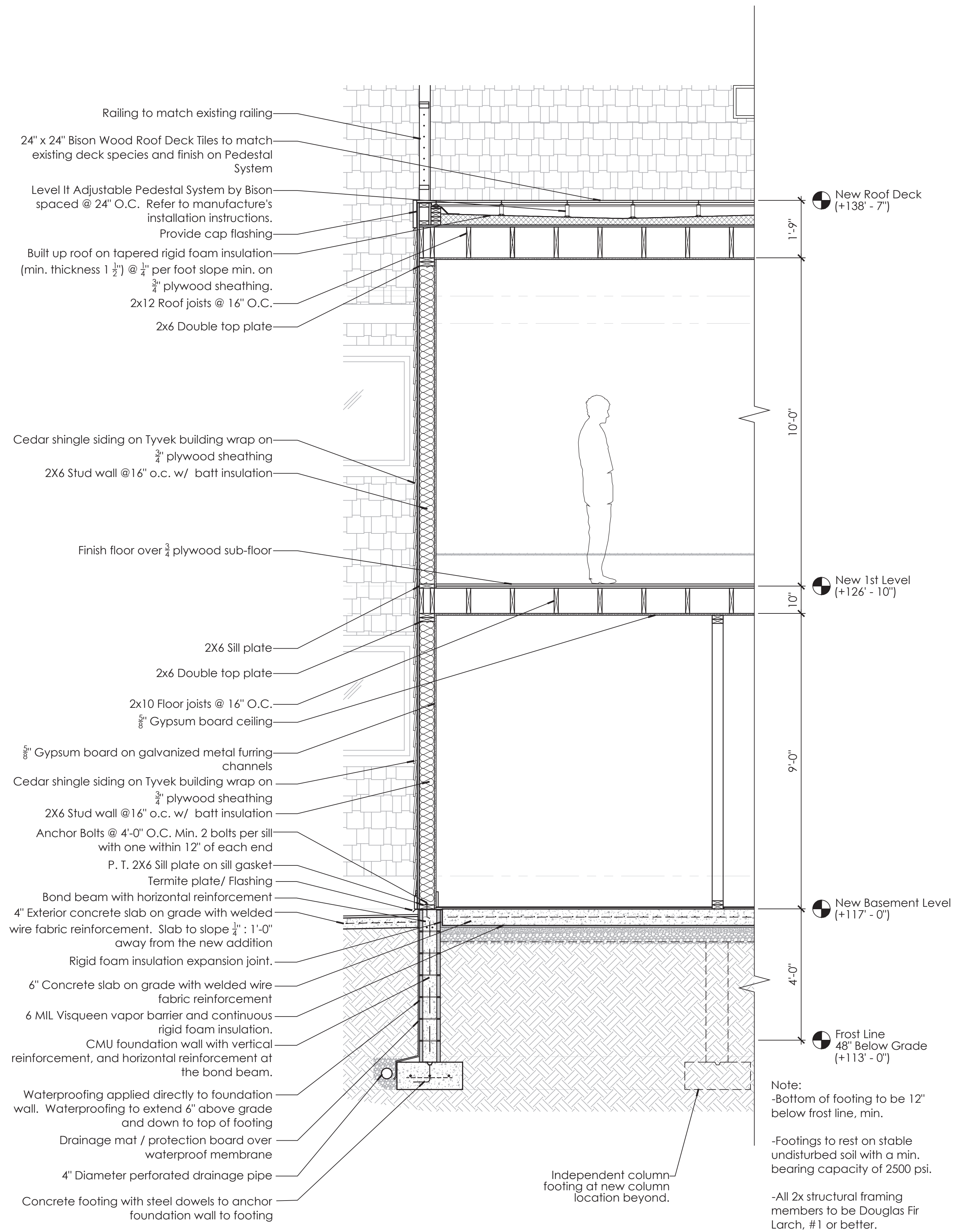
No.	Date	Description
09-23-2021	09-23-2021	Permit Set

Drawing Title  
**Overall Addition Sections**

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17200  
Drawing No.

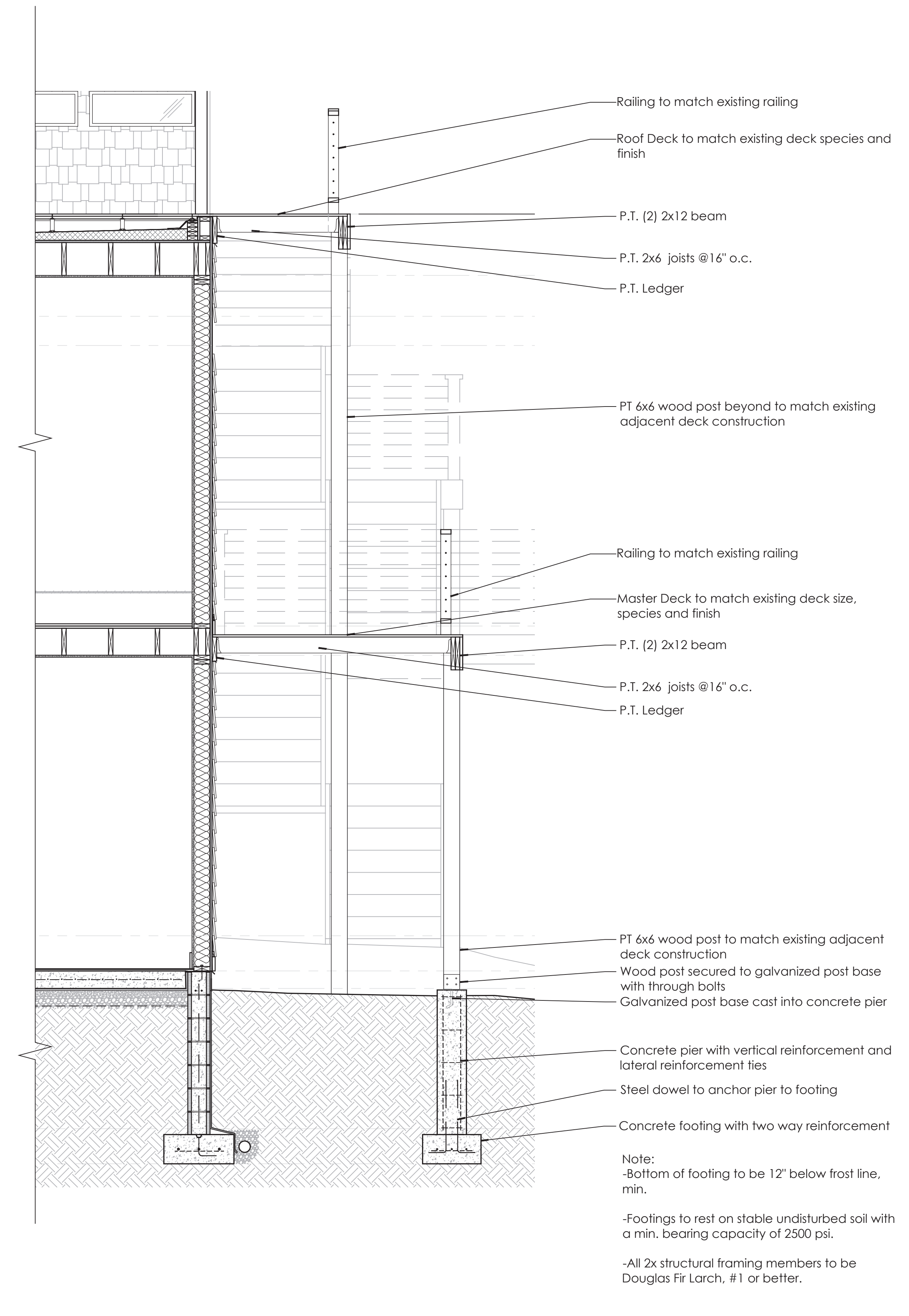
**A4.01**

\*All structural components and detailing shall be in accordance with Structural Drawing S.01



1 Enlarged Wall Section  
1/2" = 1' - 0"

\*All structural components and detailing shall be in accordance with Structural Drawing S.01



2 Enlarged Wall Section  
1/2" = 1' - 0"

Hirsh Residence  
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12 Brook Hollow Road  
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09-23-2021	Permit Set	

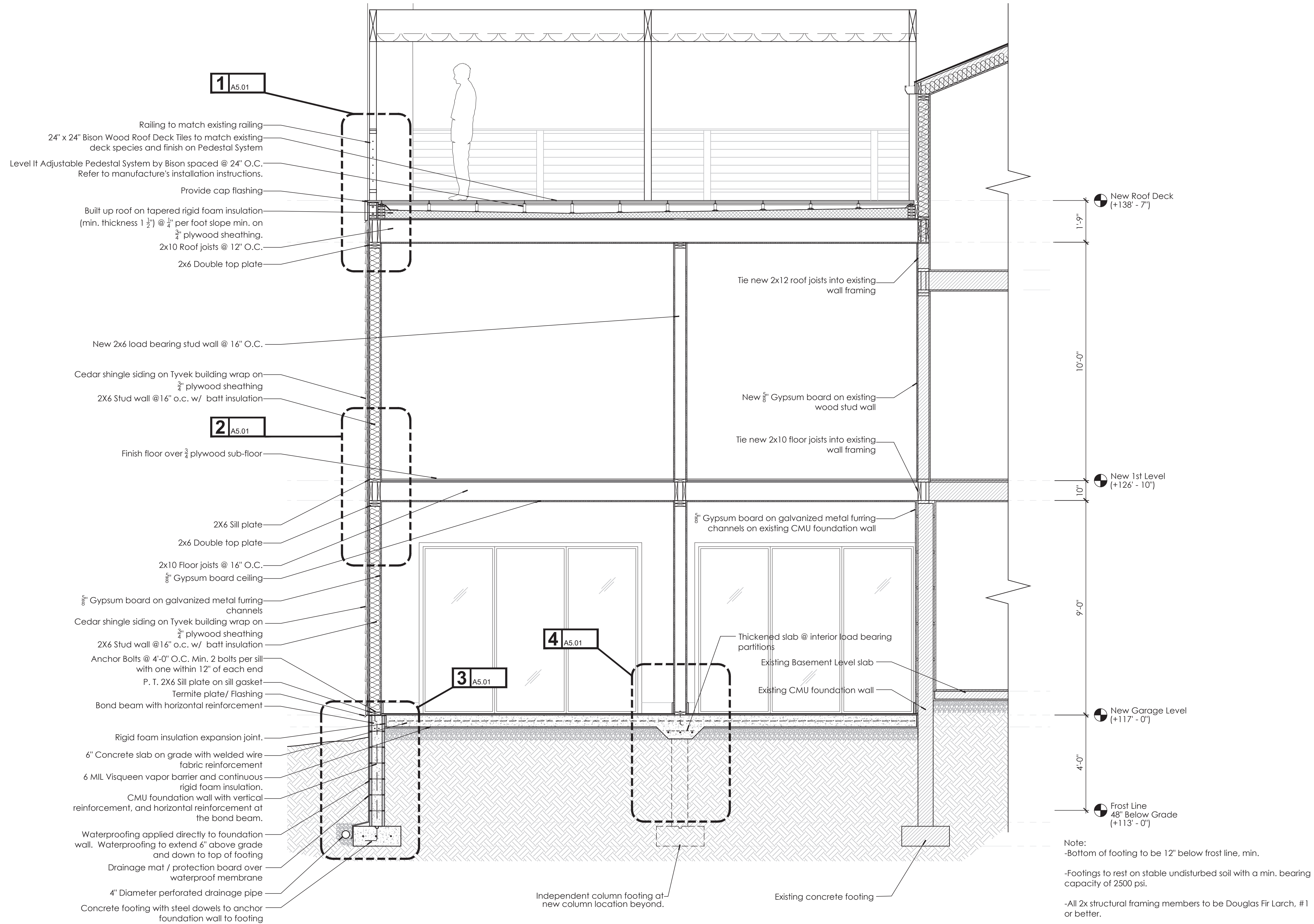
Drawing Title

Enlarged  
Addition Wall Sections

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	17000
Drawn No.	

A4.02

\*All structural components and detailing shall be in accordance with Structural Drawing S.01



**1** Enlarged Wall Section  
1/2" = 1' - 0"

Hirsh Residence  
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12 Brook Hollow Road  
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No.	Date	Description
09-23-2021		Permit Set

Drawing Title

Enlarged  
Building Section

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	172cc
Drawing No.	

**A4.03**

Note:  
-All 2x structural framing members to be Douglas Fir Larch, #1 or better.

New roof deck to have new horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.

Level It Adjustable Pedestal System by Bison spaced @ 24" O.C. Refer to manufacture's installation instructions.  
24" x 24" Bison Wood Roof Deck Tiles to match existing deck species and finish on Pedestal System

Trellis post beyond to tie into parapet framing. Provide post flashing to overlap built up roof membrane.

Deck fascia board  
Cap flashing to overlap Tyvek building wrap and base flashing

2x4 Stud framed low parapet wall at perimeter  
Base flashing to overlap built up roof membrane

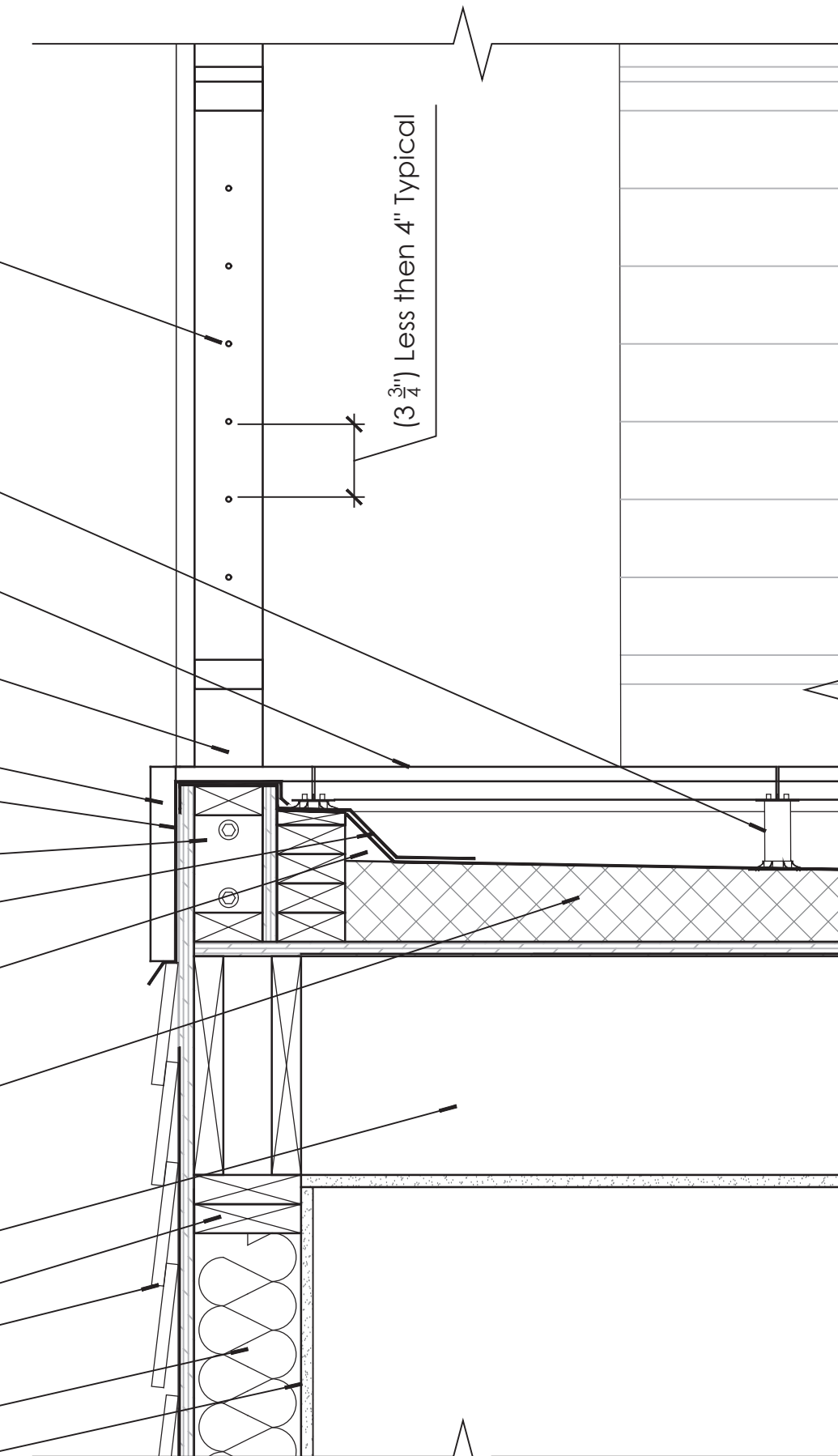
Cant strip

Built up roof on tapered rigid foam insulation (min. thickness 1 1/2") @ 1/4" per foot slope min. on 3/4" plywood sheathing.

2x10 Roof joists @ 12" O.C.

2x6 Double top plate  
Cedar shingle siding on Tyvek building wrap on 3/4" plywood sheathing

2X6 Stud wall @ 16" o.c. w/ batt insulation  
5/8" Gypsum board



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

1 Roof Deck/ Wall Section Detail  
1 1/2" = 1' - 0"

Anchor Bolts @ 4'-0" O.C. Min. 2 bolts per sill with one within 12" of each end  
P. T. 2X6 Sill plate on sill gasket

Termite plate/ Flashing  
Bond beam with horizontal reinforcement

Rigid foam insulation expansion joint.  
6" Concrete slab on grade with welded wire fabric reinforcement

Waterproofing applied directly to foundation wall. Waterproofing to extend 6" above grade and down to top of footing

6 MIL Visqueen vapor barrier and continuous rigid foam insulation.

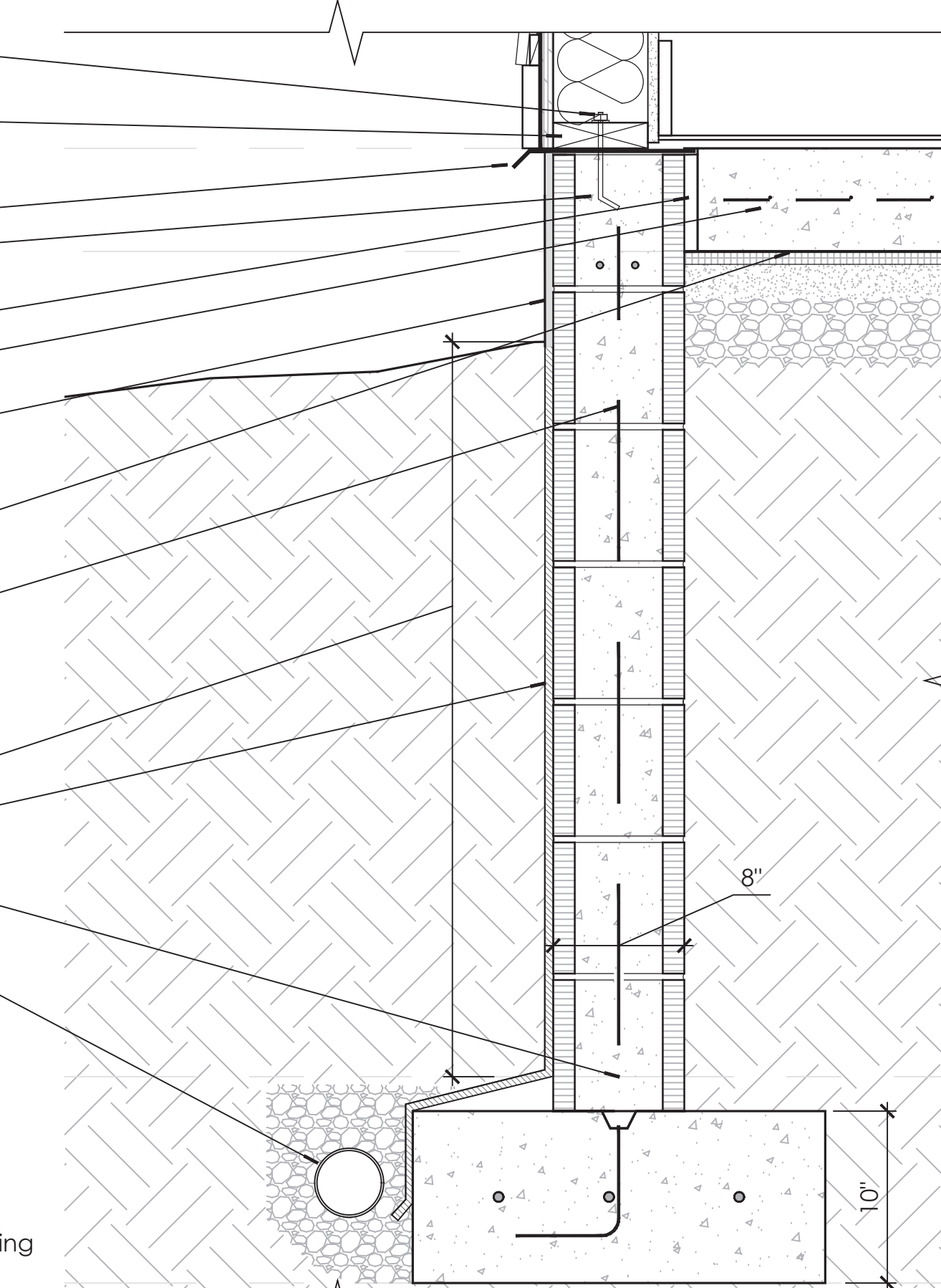
CMU foundation wall, see Structural drawings for reinforcement. All cells containing reinforcement are to be filled solidly with grout.

Frost Line @ 48" Below Grade

Drainage mat / protection board over waterproof membrane

Concrete footing with steel dowels to anchor foundation wall to footing

4" Diameter perforated drainage pipe with gravel or crushed stone coverage



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

Note:  
-Bottom of footing to be 12" below frost line, min.  
-Footings to rest on stable undisturbed soil with a min. bearing capacity of 2500 psi.

3 Foundation Detail  
1 1/2" = 1' - 0"

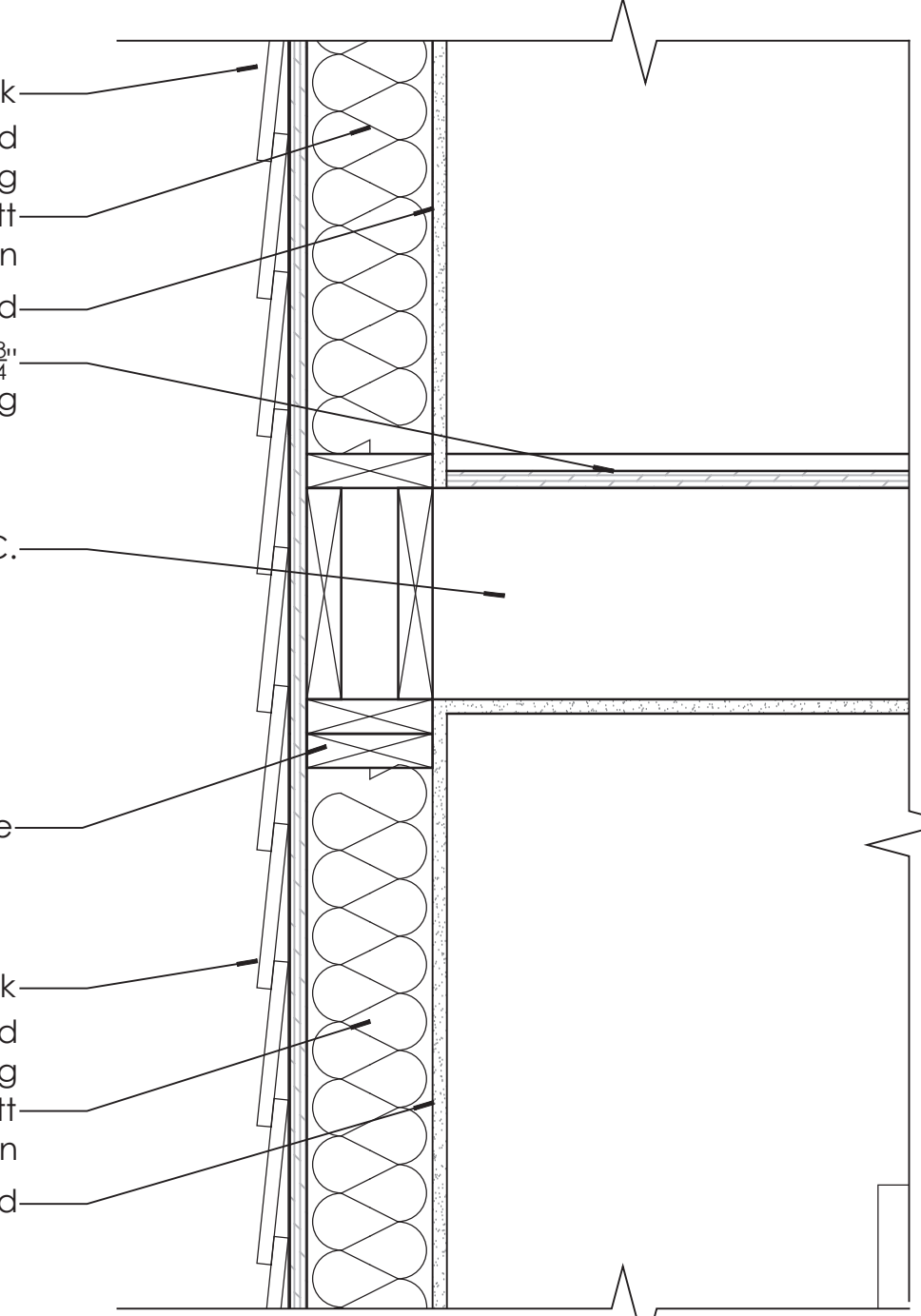
Note:  
-All 2x structural framing members to be Douglas Fir Larch, #1 or better.

Cedar shingle siding on Tyvek building wrap on 3/4" plywood sheathing  
2X6 Stud wall @ 16" o.c. w/ batt insulation  
5/8" Gypsum board  
Finished floor as scheduled on 3/4" plywood sheathing

2x10 Floor joists @ 16" O.C.

2x6 Double top plate

Cedar shingle siding on Tyvek building wrap on 3/4" plywood sheathing  
2X6 Stud wall @ 16" o.c. w/ batt insulation  
5/8" Gypsum board



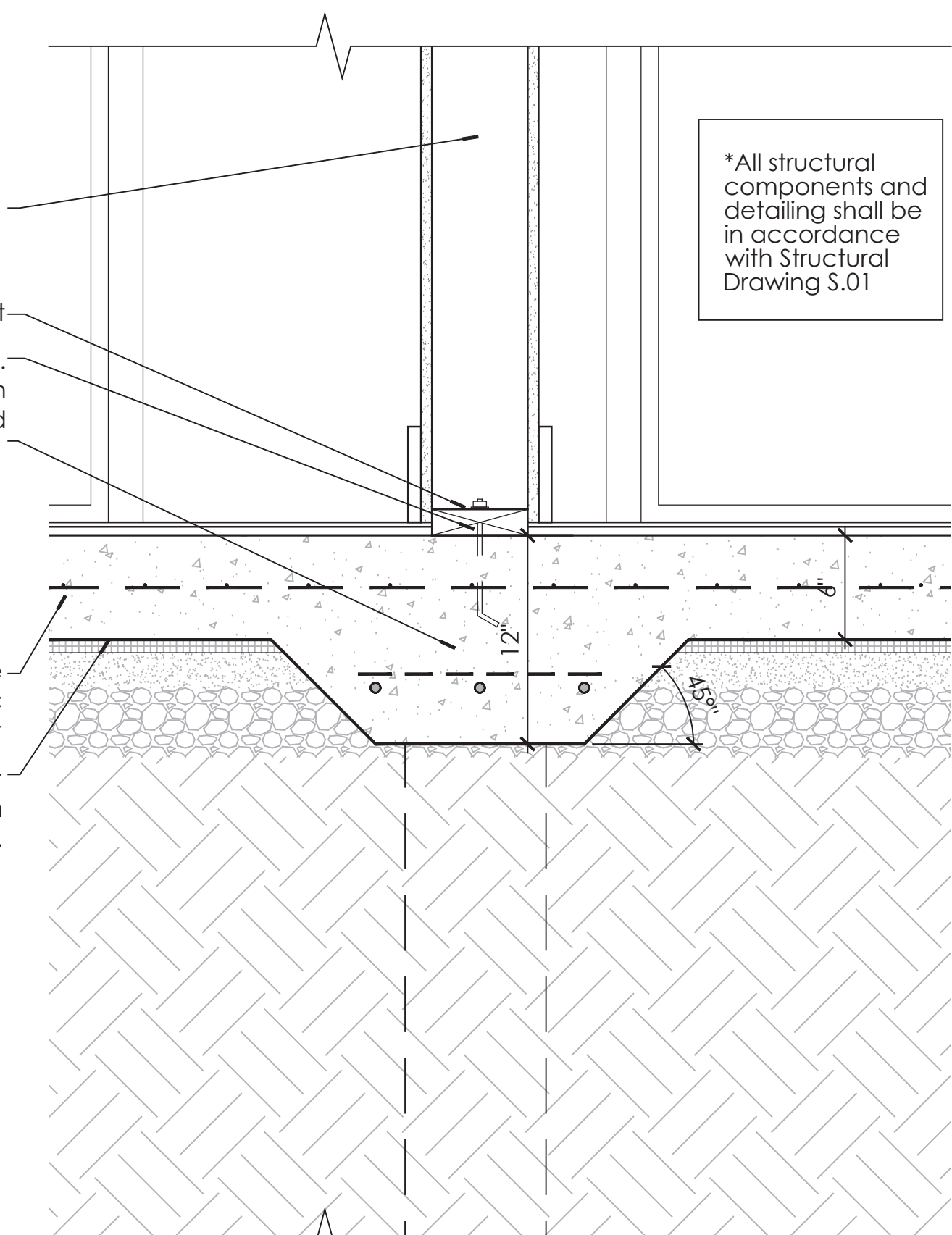
\*All structural components and detailing shall be in accordance with Structural Drawing S.01

2 Wall Section Detail  
1 1/2" = 1' - 0"

\*All structural components and detailing shall be in accordance with Structural Drawing S.01

New 2x6 load bearing stud wall @ 16" O.C.  
P. T. 2X6 Sill plate on sill gasket  
Anchor Bolts @ 4'-0" O.C. Min. 2 bolts per sill with one within 12" of each end  
Thickened slab with reinforcement @ interior load bearing partitions

6" Concrete slab on grade with welded wire fabric reinforcement  
6 MIL Visqueen vapor barrier and continuous rigid foam insulation.



4 Thickened Slab Detail  
1 1/2" = 1' - 0"

Note:  
-All 2x structural framing members to be Douglas Fir Larch, #1 or better.

New roof deck to have new horizontal metal wire railing system. Gaps between wires shall be less than 4" typical.

24" x 24" Bison Wood Roof Deck Tiles to match existing deck species and finish on Pedestal System

Trellis post to tie into parapet framing. Provide post flashing to overlap built up roof membrane.

Deck fascia board  
Cap flashing to overlap Tyvek building wrap and base flashing

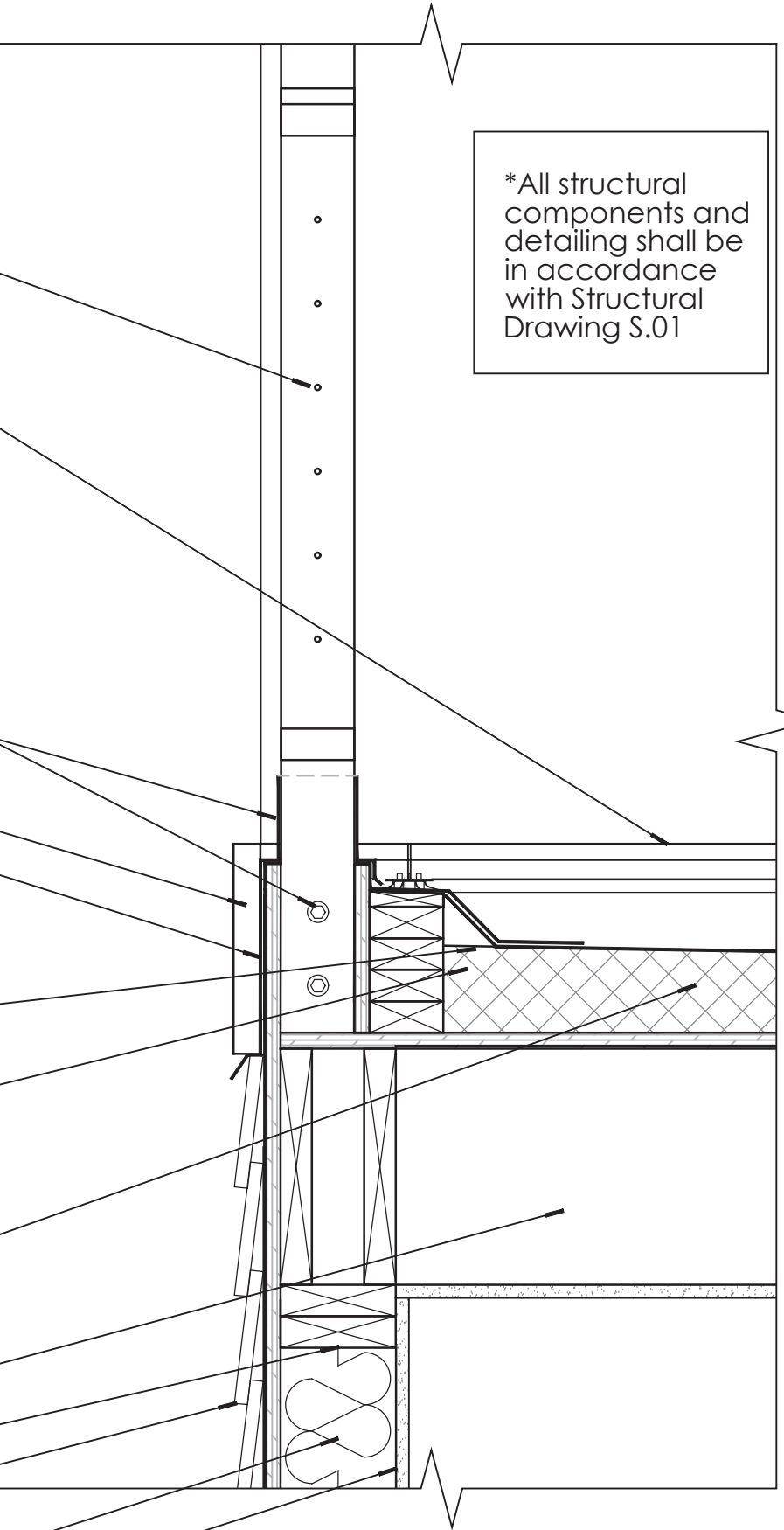
Base flashing to overlap built up roof membrane  
Cant strip

Built up roof on tapered rigid foam insulation (min. thickness 1 1/2") @ 1/4" per foot slope min. on 3/4" plywood sheathing.

2x10 Roof joists @ 12" O.C.

2x6 Double top plate  
Cedar shingle siding on Tyvek building wrap on 3/4" plywood sheathing

2X6 Stud wall @ 16" o.c. w/ batt insulation  
5/8" Gypsum board



\*All structural components and detailing shall be in accordance with Structural Drawing S.01

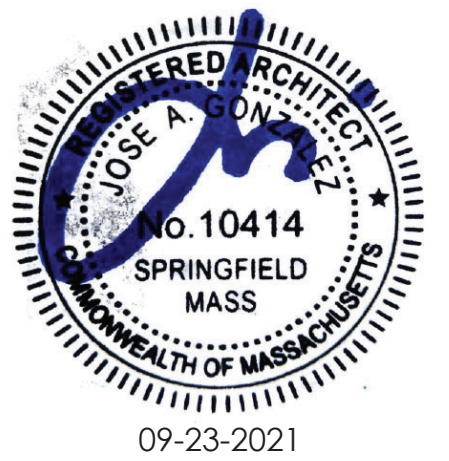
5 Roof Deck/ Wall Section Detail at Trellis Post  
1 1/2" = 1' - 0"

Hirsh Residence  
Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



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No.	Date	Description
09-23-2021	Permit Set	

Drawing Title

Scale As Noted

Date September 23, 2021

Drawn By RW

Project No. 17xxx

Drawing No.

A5.01

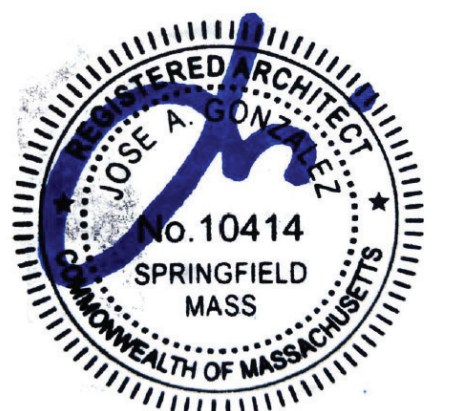
Hirsh Residence

Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



**González Architects**  
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09-23-2021

Registration Seal 14 NE First Avenue STE 500 Miami FL 33132  
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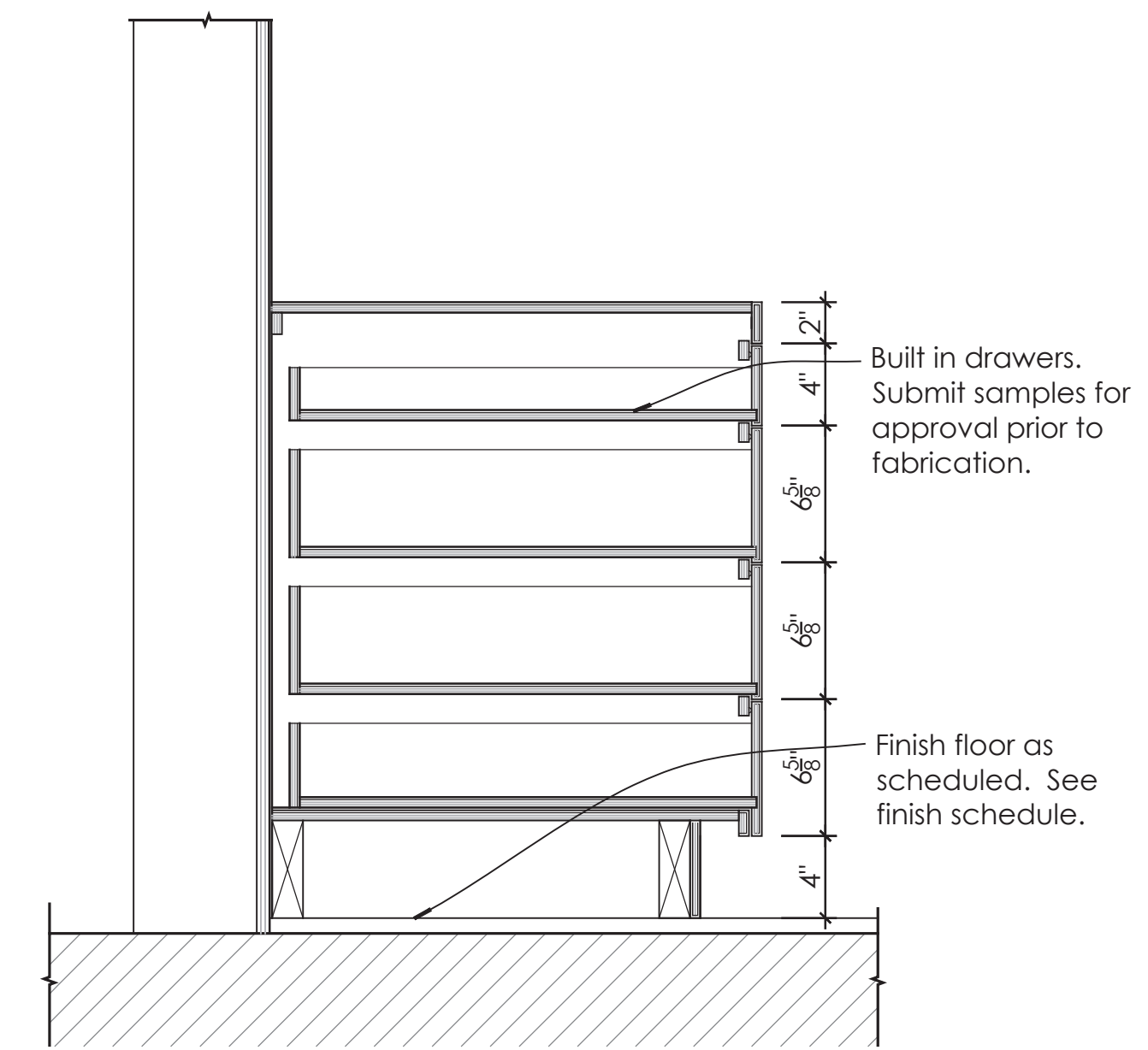
No.	Date	Description
09-23-2021	Permit Set	

Drawing Title

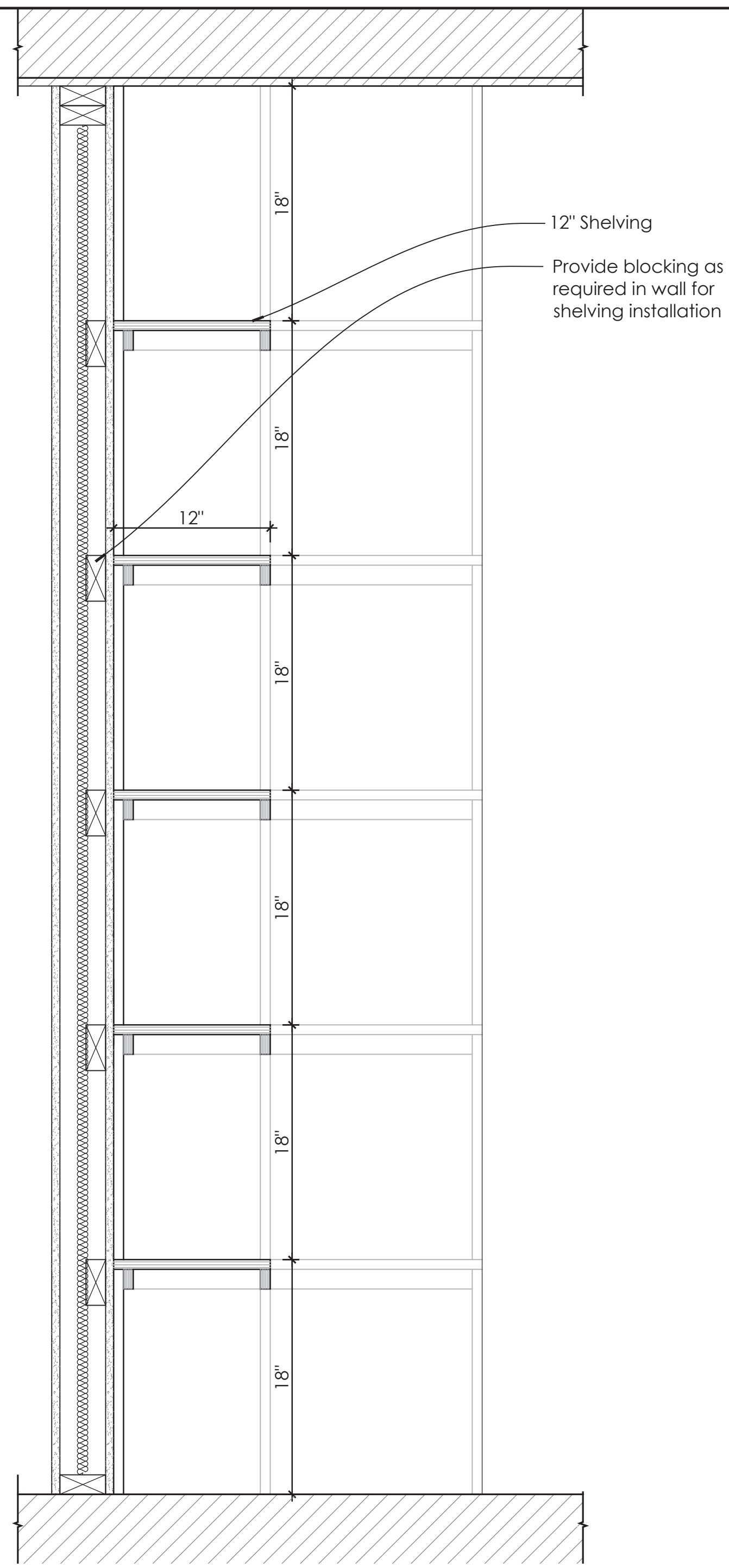
Millwork Details

Scale	As Noted
Date	September 23, 2021
Drawn By	RW
Project No.	17000
Drawing No.	

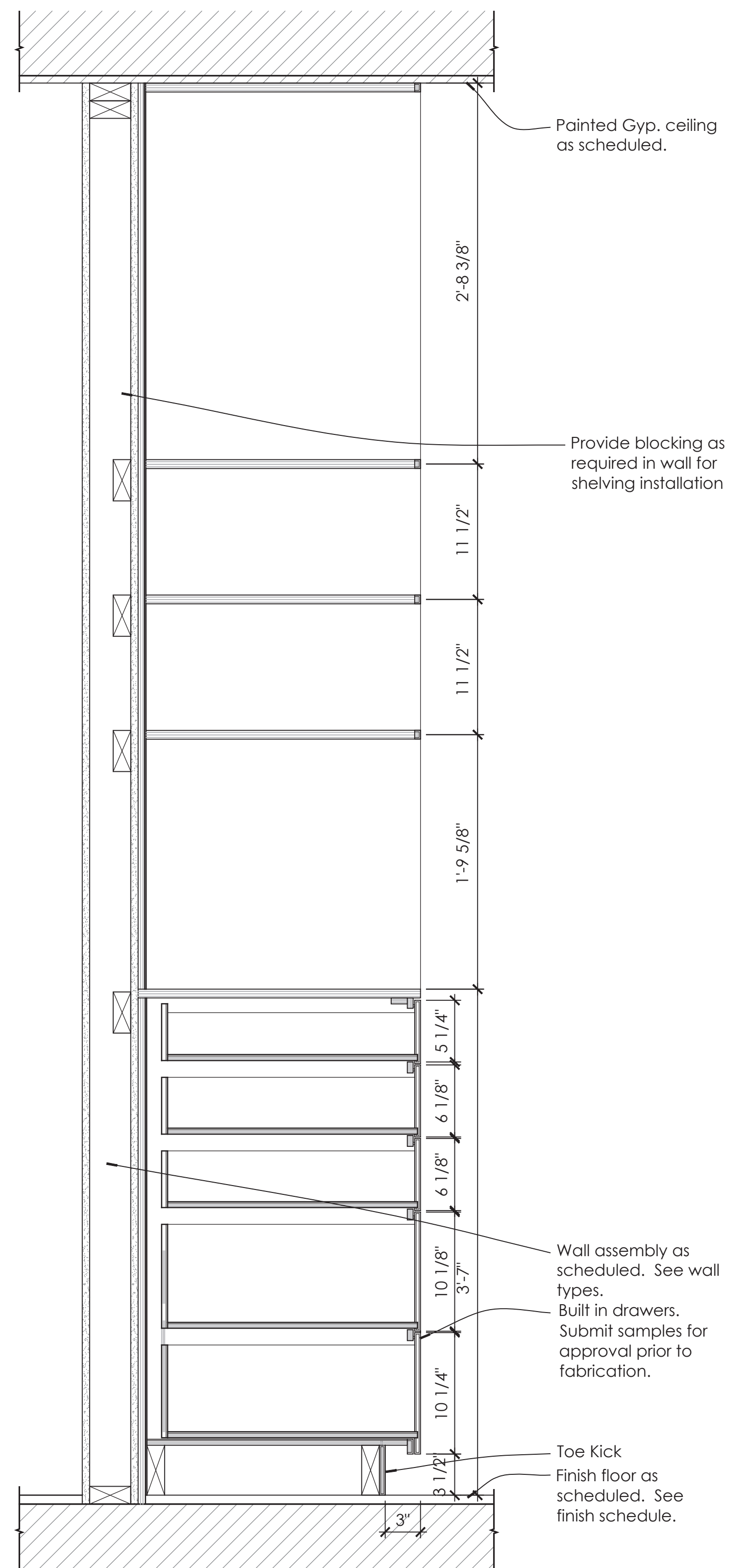
**A5.02**



**3** Build-in Desk Detail  
1 1/2" = 1' - 0"



**2** Storage Shelf Detail  
1 1/2" = 1' - 0"



**1** Master Bedroom Closet Detail  
1 1/2" = 1' - 0"

Hirsh Residence

Master Bedroom Suite  
and Basement Addition

12 Brook Hollow Road  
West Tisbury, MA 02575



**González Architects**  
Residential



Registration Seal 14 NE First Avenue STE 500 Miami FL 33132  
T 31 (305) 455-9216

Issued/Revised  
No. Date Description  
09-23-2021 Permit Set

Drawing Title

Finish Schedule  
and Legend

Scale As Noted  
Date September 23, 2021  
Drawn By RW  
Project No. 17000  
Drawing No.

A6.01

FINISH SCHEDULE																
RM	DESCRIPTION	FLOORS		WALLS								CEILING			REMARKS	
		MAT'L	BASE	NORTH		EAST		SOUTH		WEST		MAT'L	HEIGHT	FINISH		CROWN
001	BEDROOM	WD-01	WD.BASE-01	GYP	PNT-06	GYP	PNT-06	GYP	PNT-06	GYP	PNT-06	GYP	9'-0"	PNT-01	NA	*All finishes per clients selections
002	FITNESS	RB-01	WD.BASE-01 (6") PNT-10	GYP	PNT-03	GYP	PNT-03	GYP	PNT-03	GYP	PNT-03	GYP	9'-0"	PNT-01	WOOD PNT-10	*All finishes per clients selections
003	BATHROOM	TILE-01 TILE-02 (SHOWER)	TILE BASE-02 (4") PNT-10	M.R. GYP/TILE-03	PNT-04 @ GYP	M.R. GYP/TILE-03	PNT-04 @ GYP	GYP/TILE-04 (WETWALL)	PNT-04 @ GYP	M.R. GYP	PNT-04	M.R. GYP	9'-0"	PNT-01	WOOD PNT-10	*All finishes per clients selections
004	STORAGE	CONCRETE	NA	GYP	PNT-05	GYP	PNT-05	GYP	PNT-05	GYP	PNT-05	GYP	9'-0"	PNT-01	WOOD PNT-10	*All finishes per clients selections
005	CORRIDOR	WD-01	WD.BASE-01	GYP	PNT-06	GYP	PNT-06	GYP	PNT-06	GYP	PNT-06	GYP	9'-0"	PNT-01	WOOD PNT-10	*All finishes per clients selections
101	MASTER BEDROOM	WD-01 (MATCH EXST.)	WD.BASE-01 (6") PNT-10	GYP	PNT-06	GYP	PNT-06	GYP	PNT-06	GYP	PNT-06	GYP	10'-0"	PNT-01	WOOD PNT-10	*All finishes per clients selections
102	MASTER CLOSET	WD-01 (MATCH EXST.)	WD.BASE-01 (6") PNT-10	GYP	PNT-07	GYP	PNT-07	GYP	PNT-07	GYP	PNT-07	GYP	10'-0"	PNT-01	WOOD PNT-10	*All finishes per clients selections
103	MASTER BATHROOM	STN-01 STN-02 (SHOWER)	STONE BASE-03 (4")	GYP/STN-03 (WETWALL)	PNT-08 @ GYP	M.R. GYP	PNT-08	M.R. GYP	PNT-08	STN-04 (SHOWER)		M.R. GYP	10'-0"	PNT-01	WOOD PNT-10	*All finishes per clients selections
	MASTER TOILET ROOM	STN-01	STONE BASE-03 (4")	M.R. GYP	PNT-09	M.R. GYP	PNT-09	M.R. GYP	PNT-09	M.R. GYP	PNT-09	M.R. GYP	10'-0"	PNT-01	WOOD PNT-10	

1 Finish Schedule  
N.T.S.

FINISH LEGEND						
MARK	DESCRIPTION	MANUFACTURER	STYLE	NUMBER	COLOR	REMARKS
WD-01	WOOD FLOORING	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*TO MATCH EXISTING FLOORING
RB-01	RUBBER FLOORING	ECORE	ECOFIT	T.B.D.	T.B.D.	*TO MATCH EXISTING FLOORING
BASE-01	6" WOOD BASE	N/A	1x6- SOLID WOOD	N/A	PT-10	
BASE-02	4" TILE BASE	N/A	TO MATCH TILE-01	N/A	NA	*FINISHES PER CLIENT'S SELECTIONS
BASE-03	4" STONE BASE	N/A	TO MATCH STN-01	N/A	NA	*FINISHES PER CLIENT'S SELECTIONS
TILE-1	BATHROOM 003 FLOOR	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
TILE-2	BATHROOM 003 SHOWER FLOOR	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
TILE-3	BATHROOM 003 SHOWER WALL	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
TILE-4	BATHROOM 003 WET WALL	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
STN-1	MASTER BATHROOM FLOOR	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
STN-2	MASTER BATHROOM SHOWER FLOOR	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
STN-3	MASTER BATHROOM WET WALL	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
STN-4	MASTER BATHROOM SHOWER WALL	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
STN-5	PATIO FLOOR	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-1	CEILING FINISH THROUGHOUT	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-2	GARAGE WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-3	FITNESS ROOM WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-4	BATHROOM 003 WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-5	STORAGE WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-6	MASTER BEDROOM WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-7	MASTER CLOSET WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-8	MASTER BATHROOM WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-9	MASTER TOILET ROOM WALL FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS
PNT-10	BASE, CROWN MOLDING, DOORS AND TRIM FINISH	T.B.D.	T.B.D.	T.B.D.	T.B.D.	*FINISHES PER CLIENT'S SELECTIONS

2 Finish Legend  
N.T.S.

Hirsh Residence

Master Bedroom Suite  
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Residential



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Issued/Revised		
No.	Date	Description
09-23-2021	Permit Set	

Drawing Title

Legends

Scale: As Noted  
Date: September 23, 2021  
Drawn By: RW  
Project No.: 17000  
Drawing No.:

**A6.02**

LIGHTING/ ELECTRICAL LEGEND						
MARK	DESCRIPTION	MANUFACTURER	STYLE	NUMBER	COLOR	REMARKS
LT-1	RECESSED DOWN LIGHT					*FIXTURES PER CLIENT'S SELECTIONS
LT-2	EXTERIOR WALL MOUNT LIGHT					*FIXTURES PER CLIENT'S SELECTIONS
LT-3	SCONCES @ MASTER BATHROOM					*FIXTURES PER CLIENT'S SELECTIONS
MR-1	LIGHTED MIRROR @ BATHROOM 003					*FIXTURES PER CLIENT'S SELECTIONS
CF-01	CEILING FAN W/ INTEGRATED LIGHT					*FIXTURES PER CLIENT'S SELECTIONS

**1** Lighting Legend

N.T.S.

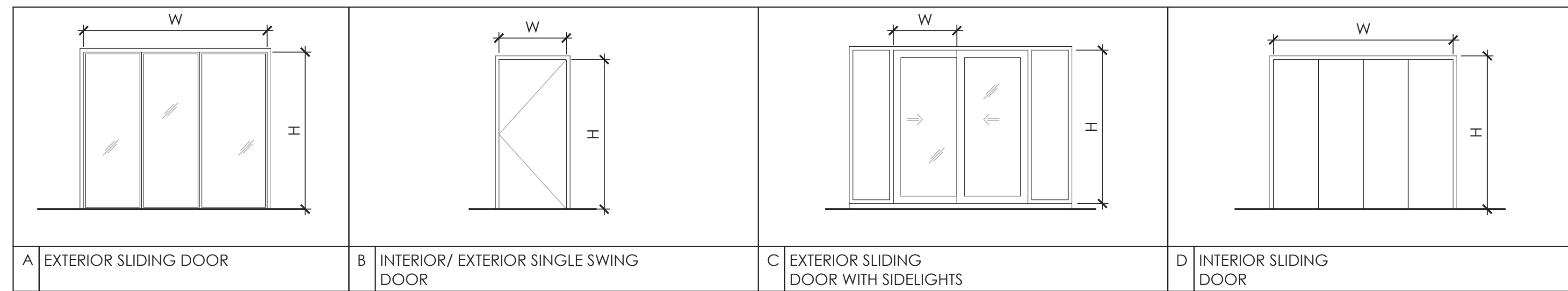
PLUMBING FIXTURE LEGEND								
MARK	DESCRIPTION	LOCATION	QUANTITY	MANUFACTURER	STYLE	NUMBER	COLOR/ FINISH	REMARKS
PF-1	SHOWER HEAD	BATHROOM 003	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-2	SHOWER TRIM	BATHROOM 003	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-3	TIOLET	BATHROOM 003	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-4	VANITY SINK	BATHROOM 003	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-5	VANITY FAUCET SET	BATHROOM 003	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-6	SHOWER HEAD	MASTER BATH 103	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-7	SHOWER TRIM	MASTER BATH 103	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-8	HAND SHOWER AND DIVERTER	MASTER BATH 103	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-9	TIOLET	MASTER BATH 103	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-10	VANITY SINK	MASTER BATH 103	(2)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-11	VANITY FAUCET SET	MASTER BATH 103	(2)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-12	BATHTUB	MASTER BATH 103	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS
PF-13	BATHTUB FAUCET SET	MASTER BATH 103	(1)					*PLUMBING FIXTURES PER CLIENT'S SELECTIONS

**2** Plumbing Fixture Legend

N.T.S.

DOOR SCHEDULE											
TAG	TYPE	SIZE ( w x h )	LOCATION	DESCRIPTION	MATERIAL	FINISHES	HEAD DTL.	JAMB DTL.	SILL DTL.	HARDWARE (SEE 5/A4.03)	REMARKS
000A	*	MATCH EXISTING	FAMILY ROOM	EXTERIOR SLIDING DOOR (TO MATCH EXISTING DOOR)	SOLID WOOD	PAINT					*DOOR TYPE AND SIZE SHALL MATCH THE EXISTING DOOR THAT IS BEING REMOVED
001A	B	(36" x 80")	BEDROOM	EXTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
001B	B	(36" x 80")	BEDROOM	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
001C	D	(96" x 80")	BEDROOM	INTERIOR SLIDING DOOR	SOLID WOOD	PAINT					
002A	B	(36" x 80")	FITNESS/CORRIDOR	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
002B	B	(36" x 80")	FITNESS	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
002C	A	(84" x 98")	FITNESS	EXTERIOR SINGLE SLIDING DOOR WITH SIDELIGHTS	WOOD/ GLASS	PAINT					
002D	A	(84" x 108")	FITNESS	EXTERIOR SLIDING DOOR	WOOD/ GLASS	PAINT					
003A	B	(30" x 80")	BATH 003	EXTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
003B	B	(30" x 80")	BATH 003 / FITNESS	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
004A	B	(36" x 80")	STORAGE	EXTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
005A	B	(36" x 80")	CORRIDOR	EXTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
005B	D	(48" x 80")	CORRIDOR	INTERIOR SLIDING DOOR	SOLID WOOD	PAINT					
101A	C	(38" x *84")	MASTER BEDROOM	EXTERIOR DOUBLE SLIDING DOOR WITH SIDELIGHTS	WOOD/ GLASS	PAINT					*HEADER HEIGHT TO MATCH EXISTING ADJACENT EXTERIOR SLIDING DOORS
101B	B	(30" x 80")	MASTER BEDROOM	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
102A	B	(30" x 80")	MASTER CLOSET	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
103A	B	(30" x 80")	MASTER BATH	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					
103B	B	(30" x 80")	MASTER TOILET ROOM	INTERIOR SINGLE SWING DOOR	SOLID WOOD	PAINT					

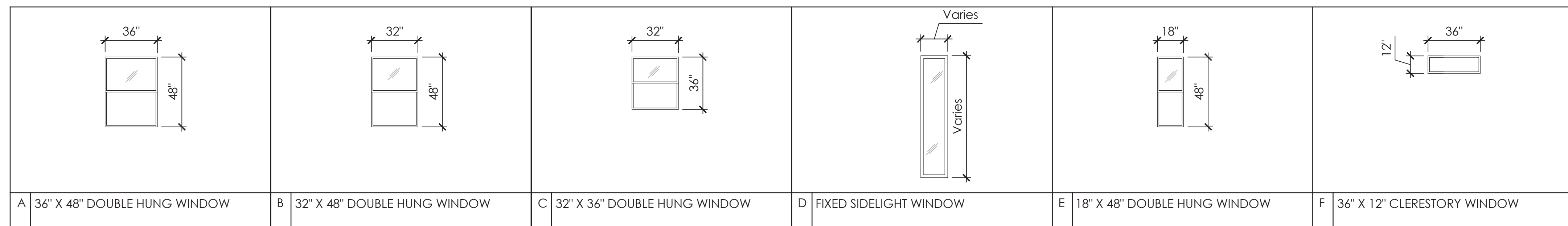
### 1 Door Schedule



### 2 Door Types

WINDOW SCHEDULE										
TAG	TYPE	SIZE ( w x h )	LOCATION	DESCRIPTION	MATERIAL	FINISHES	HEAD DTL.	JAMB DTL.	SILL DTL.	REMARKS
Ⓐ	DBL. HUNG	36" x 48"	FITNESS 002	DOUBLE HUNG WINDOW	GLASS/ WOOD	PAINT				
Ⓑ	DBL. HUNG	32" x 48"	MASTER BEDROOM 101	DOUBLE HUNG WINDOW	GLASS/ WOOD	PAINT				
Ⓒ	DBL. HUNG	32" x 36"	MASTER BEDROOM 101	DOUBLE HUNG WINDOW	GLASS/ WOOD	PAINT				
Ⓓ	FIXED	17" x *84"	MASTER BEDROOM 101	FIXED SIDE LIGHT	GLASS/ WOOD	PAINT				*HEADER HEIGHT TO MATCH EXISTING ADJACENT EXTERIOR SLIDING DOORS
Ⓔ	DBL. HUNG	18" x 48"	BEDROOM 001	DOUBLE HUNG WINDOW	GLASS/ WOOD	PAINT				
Ⓕ	FIXED	36" x 12"	LIVING ROOM	CLERESTORY WINDOW	GLASS/ WOOD	PAINT				

### 3 Window Schedules



### 4 Window Types

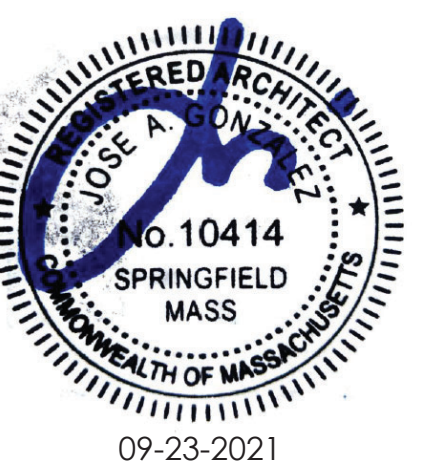
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Master Bedroom Suite and Basement Addition

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Door / Window Schedules

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Date September 23, 2021

Drawn By RW

Project No. 17xxx

Drawing No.

A6.03