

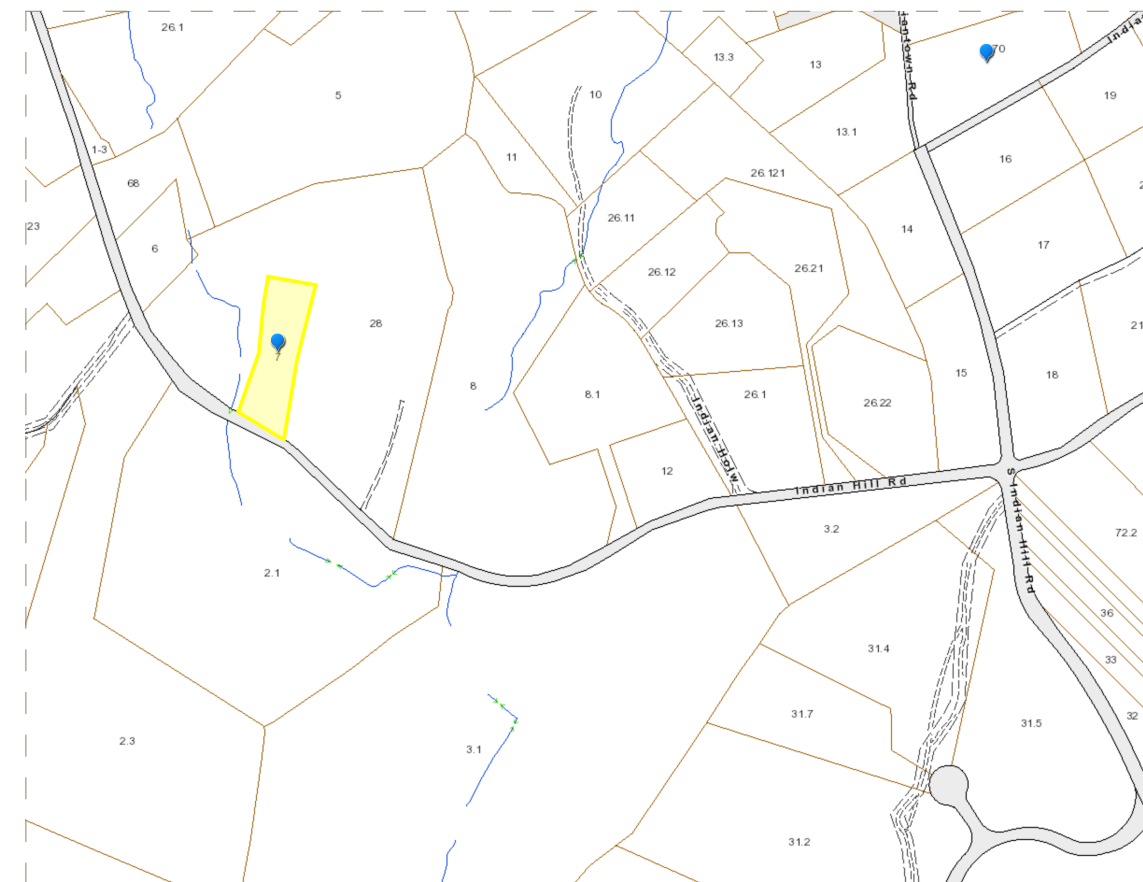
DEL PRETE RESIDENCE

217 INDIAN HILL ROAD, WEST TISBURY, MA

sullivan + associates
ARCHITECTS

508 693 0500
sullivanassociatesarchitects.com

217 INDIAN HILL ROAD, WEST TISBURY, MA



CODE COMPLIANCE : EDGARTOWN			
DEL PRETE RESIDENCE			
217 INDIAN HILL ROAD, WEST TISBURY, MA			
MAP-PARCEL: 15-7			
DISTRICT = RU			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	3 ACRES	1.5 ACRE	1.5 ACRE
FRONT SETBACK	50' MINIMUM	270'	270'
SIDEYARD SETBACK	50' MINIMUM	6'	19'
REAR YARD SETBACK	50' MINIMUM	90'	53' (POOL)
ROOF HEIGHT	30' MAX. PITCHED * MAX FLAT	25.4'	18.15' N/A
NOTES:			

BUILDING CODE INFORMATION :
BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION
ENERGY CODE: 2018 IECC (ADOPTED BY MASSACHUSETTS FEBRUARY 7, 2020)

ISSUED FOR REVIEW ONLY

2022-02-16

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ARCHITECTS
SULLIVAN AND ASSOCIATES ARCHITECTS
52 NARRAGANSETT AVENUE
OAK BLUFFS MA, 02557
(508) 693-0500

SEPTIC & SURVEYING ENGINEERING
VINEYARD LAND SURVEYING & ENGINEERING, INC
12 COURNOYER ROAD, P.O. BOX 421
WEST TISBURY, MA 02575
(508) 693-3774

GLOSSARY

<p>@ - AT CL - CENTERLINE PL - PROPERTY LINE # - DIAMETER # - POUND OR NUMBER (E) - EXISTING (N) - NEW ABV - ABOVE ACC - ACCESS ACOUS - ACOUSTICAL A.D - AREA DRAIN ADJ - ADJUSTABLE AFF - ABOVE FINISHED FLOOR AIB - AIR INFILTRATION BARRIOR ALT - ALTERNATING APPROX - APPROXIMATE ARCH - ARCHITECT BD - BOARD BLDG - BUILDING BLKG - BLOCKING BM - BEAM B.O - BOTTOM OF B - BOTTOM BW - BOTH WAYS BP - BASE PLATE CAB - CABINET C.B.CATCH BASIN CM - CEMENT CER - CERAMIC C.I.P - CAST IN PLACE C.J - CONTROL JOINT CLG - CEILING CLKG - CALLUING CL - CENTER LINE CLO - CLOSET CLR - CLEAR CMU - CONCRETE MASONRY UNIT CNTR - COUNTER COL - COLUMN CONC. - CONCRETE CONN - CONNECTION CONT - CONTINUOUS CORR - CORRIDOR CT CERAMIC TILE CPT - CARPET / CARPETED CTR - CENTER DBL - DOUBLE DEMO - DEMOLITION DTL - DETAIL DEV - DEVELOPMENT DIA. @ - DIAMETER DIM - DIMENSION DIR - DIRECTION DN - DOWN D.O - DOOR OPENING DR - DISHWASHER DW - DISHWASHER DWG - DRAWING E - EAST EA - EACH EA/W - EACH WAY ECT - ETCETERA ELEV - ELEVATION ELEC. ELECTRICAL EMBED - EMBEDDED ENCL - ENCLOSURE ENG - ENGINEER EQ - EQUALLY EQUIP - EQUIPMENT</p>	<p>EST - ESTIMATE EXIST - EXISTING EXPO - EXPOSED / EXPOSURE EXT - EXTERIOR FD - FLOOR DRAIN FE - FIRE EXTINGUISHER FF - FIRST FLOOR FF - FINISH FLOOR TO FINISH FLOOR FIN - FINISH FDN - FOUNDATION FLASH - FLASHING FL FLOOR / FLOORING FLUOR - FLUORESCENT FO - FACE OF FOC - FACE OF CONCRETE FOIC - FURNISHED BY OWNER - INSTALLED BY CONTRACTOR FOM - FACE OF MASONRY FOS - FACE OF STUDS FOF - FACE OF FINISH FOS - FACE OF STUDS FR - FRAME FRFP - FIREPROOF FRPL - FIREPLACE FTG - FOOTING FT - FOOT OR FEET FURR - FURRING FUT - FUTURE FW - FULL WIDTH FG - FINISH GRADE FND - FOUNDATION GA - GAUGE GALV - GALVANIZED GC - GENERAL CONTRACTOR GL - GLASS GLAM - GLUE LAMINATED GR - GRADE GWB - GYPSUM WALL BOARD HB - HORSE BIB H.C. - HOLLOW CORE H.D.O - HIGH DENSITY OVERLAY HDR - HEADER HEDWD - HARDWOOD HEDWE - HARDWARE HEM - HEMLOCK HM - HOLLOW METAL HORIZ - HORIZONTAL HP - HIGH POINT HR - HOUR HT - HEIGHT HVAC - HEATING / VENTILATING / AIR CONDITIONING HW - HOT WATER ID - INSIDE DIAMETER IN - INCH INSUL - INSULATION INT - INTERIOR J.B - JUNCTION BOX JF - JOINT FILLER JT - JOINT LSL - LAMINATED STRAND LUMBER LVL - LAMINATED VENEER LUMBER LAM - LAMINATE / LAMINATED LAV - LAVATORY LF - LINEAL FEET LOC - LOCATION LP - LOW POINT LT - LIGHT</p>	<p>MAS - MASONRY MAX - MAXIMUM M.B. - MACHINE BOLT M.C. - MEDICINE CABINET MDI - MEDIUM DENSITY FIBERBOARD MDO - MEDIUM DENSITY OVERLAY MECH - MECHANICAL MLAM - MICROLAM MEMB - MEMBRANE MTL - METAL MFR - MANUFACTURER MIN - MINIMUM MISC. - MISCELLANEOUS MTD - MOUNTED MAT - MATERIAL MLL - MULLION N - NORTH N/A - NOT APPLICABLE N.I.C - NOT IN CONTRACT NO - NUMBER NAT - NATURAL QA - OVERALL O/C - ON CENTER ODIA - OUTSIDE DIAMETER O.D. - OVERFLOW DRAIN OFF - OFFICE OH - OVERHEAD OPNG - OPENING OPP - OPPOSITE OPHD - OPPOSITE HAND PERF - PERFORATED PERP - PERPENDICULAR PL - PLATE PLAM - PLASTIC LAMINATE PLAS - PLASTER PLY - PLYWOOD PNL - PANEL PR - PAIR PRCST - PRE-CAST PT - POINT PTD - PAINTED PTN - PARTITION PLY - PLYWOOD PSF - POUND PER SQUARE FOOT PSI - POUND PER SQUARE INCH</p>	<p>S - SOUTH S.A.F. - SELF-ADHERED FLASHING S.A.M. - SELF-ADHERED MEMBRANE S.C. - SOLID CORE S.D. - SMOKE DETECTOR SCHD - SCHEDULE SECT - SECTION S.G. - SAFETY GLASS SH - SHELF SIP - STRUCTURAL INSULATED PANEL SHR - SHOWER SHT - SHEET SHT.MTL - SHEET METAL SHTG - SHEATHING SPL - SIMILAR SL - SLAB S.O.G. - SLAB ON GRADE SPEC - SPECIFICATION SF - SECOND FLOOR S/F - SUBFLOOR SQIN - SQUARE INCHES SS - STAINLESS STEEL STA - STATION STD - STANDARD STL - STEEL STOR - STORAGE STAGG - STANGGERED STR - STRUCTURAL SUSP - SUSPENDED SYM - SYMMETRICAL</p>
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GENERAL NOTES

1. CODES: ALL WORK SHALL CONFORM TO THE CURRENT MASSACHUSETTS STATE BUILDING CODES LISTED IN BUILDING CODE INFORMATION TABLE ON TITLE PAGE.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICT EXISTS.
3. ALL FRAMING SHALL BE LEVEL, PLUMB, AND TRUE TO LINES SHOWN.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
5. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT BLOCKING, BAKING, AND JACKS REQUIRED FOR INSTALLATION.
6. VERIFY LOCATION OF ALL EXISTING UTILITIES AND SLEEVING: CAP, MARK, AND PROTECT AS NECESSARY TO COMPLETE THE WORK. PROVIDE AS-BUILT PLAN OF ALL UTILITY LOCATIONS.
7. NOTIFY OWNER 10 DAYS IN ADVANCE OF DEMOLITION.
8. SET ALL TILES WITH JOINTS AS DIRECTED BY OWNER OR ARCHITECT. ALL TILES SHALL BE ACCURATELY ALIGNED AND TRUE TO PLANE.
9. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
10. ALL PLUMBING AND VENTING SHALL BE ACCORDING TO LOCAL CODES.
11. SERVICE WATER PIPES IN UNHEATED SPACES TO BE INSULATED.
12. INSULATION IS TO BE PROVIDED AT ALL BATHROOMS AND AHU CLOSETS.
13. PROVIDE FIREBLOCKING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
14. PROVIDE DRAFTSTOPPING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
15. MOUNT ALL DOOR HARDWARE HANDSETS AT 36" TO CENTERLINE UNLESS OTHERWISE NOTED. ERIFY W/ ARCHITECT.
16. USE CAST IRON WASTE LINES FOR ALL PLUMBING IN CEILINGS AND WALLS.
17. ALL INSULATION MATERIALS SHALL HAVE FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE-DEVELOPED RATING NOT TO EXCEED 450, PER MASSACHUSETTS STATE BUILDING CODE.
18. CLEAR DEBRIS FROM ALL VENTILATION DRILL HOLES AND NOTCHES.
19. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AS WELL AS THE NATIONAL ELECTRIC CODE, MOST RECENT ADDITION.
20. THE CONTRACTOR IS REQUIRED TO COORDINATE BETWEEN THE TRADES THE SEQUENCE OF THE CONSTRUCTION AND THE REQUIRED REVIEW AND APPROVALS FOR THE HOUSE TO BE CERTIFIED AS ENERGY STAR COMPLIANT.

MATERIAL SYMBOLS & LEGEND

	CEDAR SHINGLES		GYPSUM BOARD		STEEL
	FOUNDATION WALLS		BRICK COMMON		SAA CEDAR SIDE WALL
	CONCRETE LIGHTWEIGHT		BRICK COMMON BOND		GLASS
	LVL		BLOCK MASONRY		STONE
	DECK BOARD		GRADE		PROPOSED WALLS
	WOOD SIDING		WOOD FLOORING		EXISTING WALLS
	PLYWOOD		GRAVEL		BLOCK CONCRETE
	INSULATION FOAMBOARD		SUB FLOORING		CMU BLOCK
	RIGID INSULATION		DOLMIT		

SYMBOLS & LEGEND

	SLOPE SYMBOL		NORTH ARROW
	MARK SECTION		REVISION INDICATOR
	MARK ELEVATION		2X PLATE
	ROOM ELEVATION		2X BLOCKING PLATE
	DETAIL MARKER		SECTION BREAK LINE
			FLOOR PLAN ELEVATION

WINDOW SCHEDULE - FOR PRICING ONLY

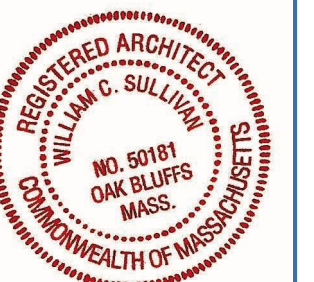
MARK	QUANT.	TYPE	MANUF	MODEL#	LITES	FRAME SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
A	5	CASEMENT	LOEWEN	TBD		3'-0"	6'-0"	EGRESS
B	2	AWNING	LOEWEN	TBD		2'-6"	3'-0"	EGRESS
C	1	CASEMENT	LOEWEN	TBD		2'-4"	3'-7 1/4"	
E	2	AWNING	LOEWEN	TBD		7'-0"	1'-7 1/4"	
F	2	AWNING	LOEWEN	TBD		2'-0"	1'-7 1/4"	

DOOR SCHEDULE - FOR PRICING ONLY

MARK	QUANT.	TYPE	MANUF.	MODEL#	LITES	UNIT SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
1	1	FRENCH DOOR	LOEWEN	TBD		3'-0"	6'-9 3/4"	
2	1	GARAGE DOOR	CUSTOM	TBD		9'-0"	8'-0"	
3	1	FRENCH DOOR	LOEWEN	TBD		3'-0"	6'-9 3/4"	
4	1	SLIDING DOOR	LOEWEN	TBD		6'-0"	7'-6"	
5	1	LIFT & SLIDE DOOR	LOEWEN	TBD		16'-0"	7'-6"	

Notes:

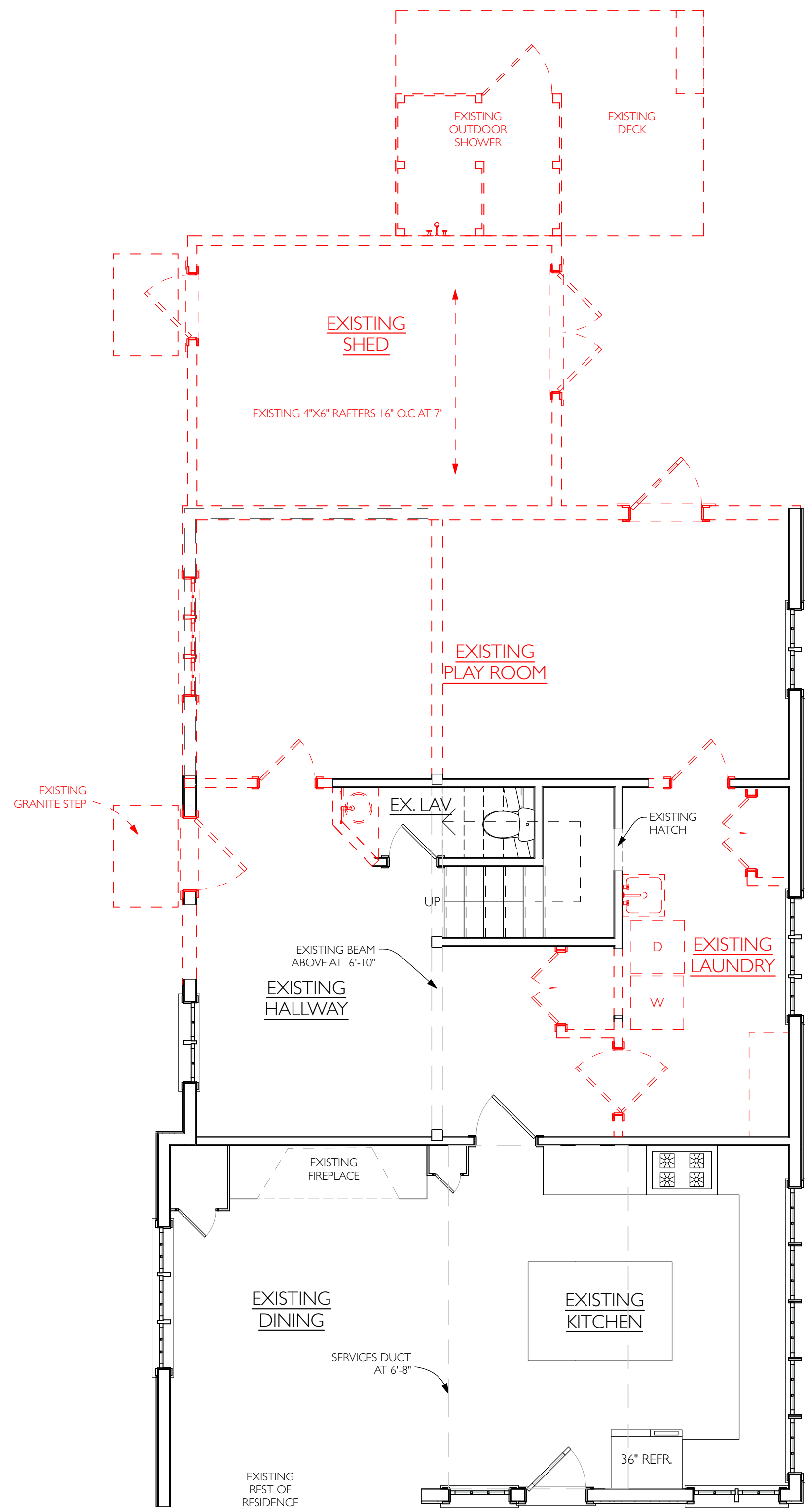
Windows and Doors to be insulated Low-E argon-filled double-pane glass to meet or exceed energy performance U-Factor of 0.32. Window Manufacturer/Contractor to obtain sign-off from Architect on which units require tempered glass before placing order. ~~Windows and Doors glazing are required to meet Wind Borne Debris Region requirements for Large Missile Test of ASTM E 1996 and of ASTM E 1886. Garage door glazed opening protection for windborne debris shall meet the requirements of an approved impact resisting standard or ANSI/DASMA 115.~~ Wood structural panels constructed to meet code, shall be provided for all exterior glazed openings, and any existing openings as indicated on architectural plans (See detail W-02) Windows and Doors to meet required Design Pressures ratings for *Wind Speed, Exposure Zone, and Roof Height* listed on these drawings. Contractor to submit Manufacturer's Design Pressures ratings for sign-off approval on all windows and doors before placing order. Contractor to obtain rough openings from manufacturer for framing. All Windows to be _____; Color: _____ Hardware: _____ All Terrace Doors to be _____; Color: _____ Hardware: _____ Terrace Door Interior to be _____; Color: _____



SET: _____ DATE: _____

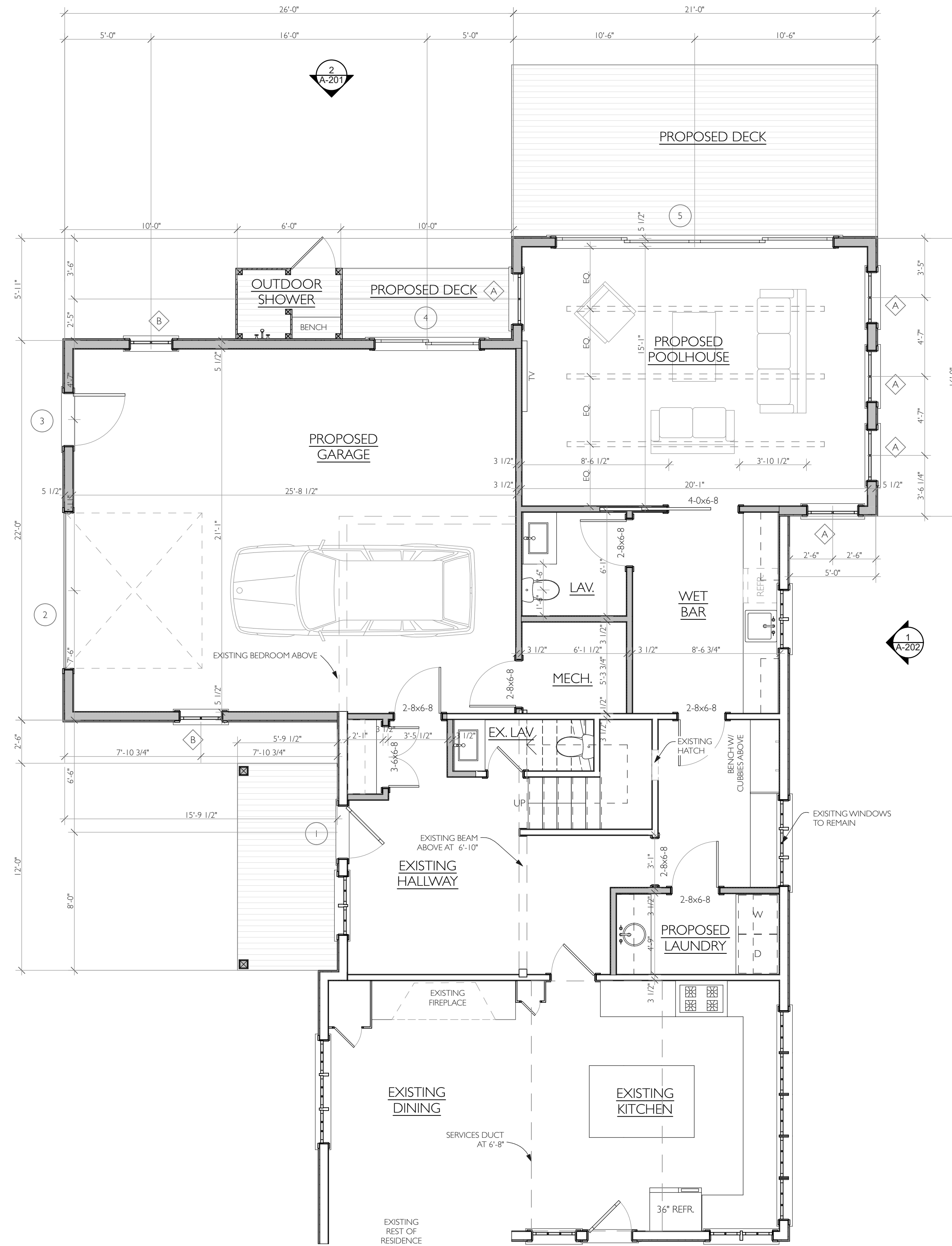
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DRAWN BY: **TS/MT/AT**
DATE: **2022-02-16**
MAP/PARCEL: **15-7**
JOB #: **21D01**
DRAWING #:

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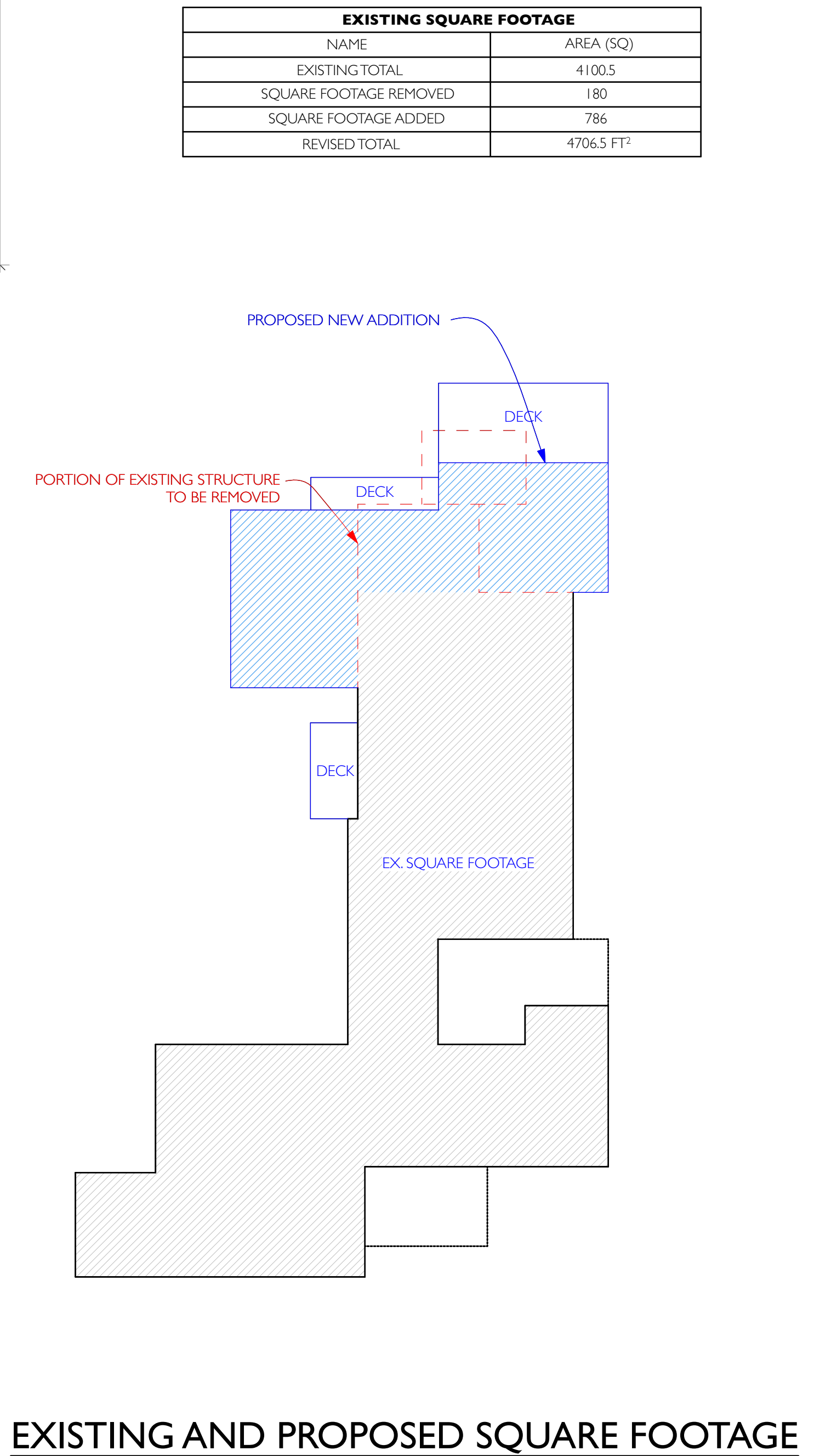
FIRST FLOOR PLAN - DEMO

SCALE: 1/4" = 1'-0"

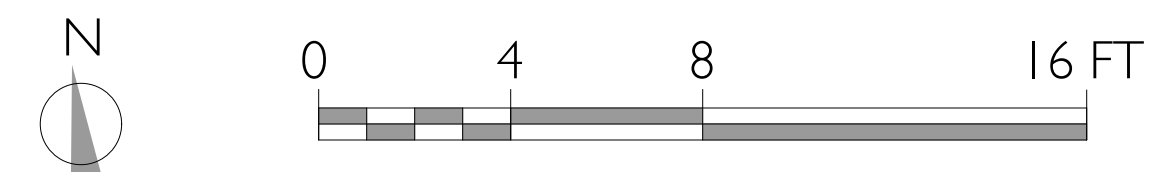


FIRST FLOOR PLAN-PROPOSED

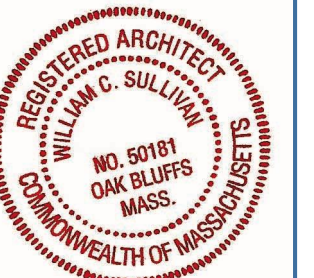
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EXISTING AND PROPOSED SQUARE FOOTAGE



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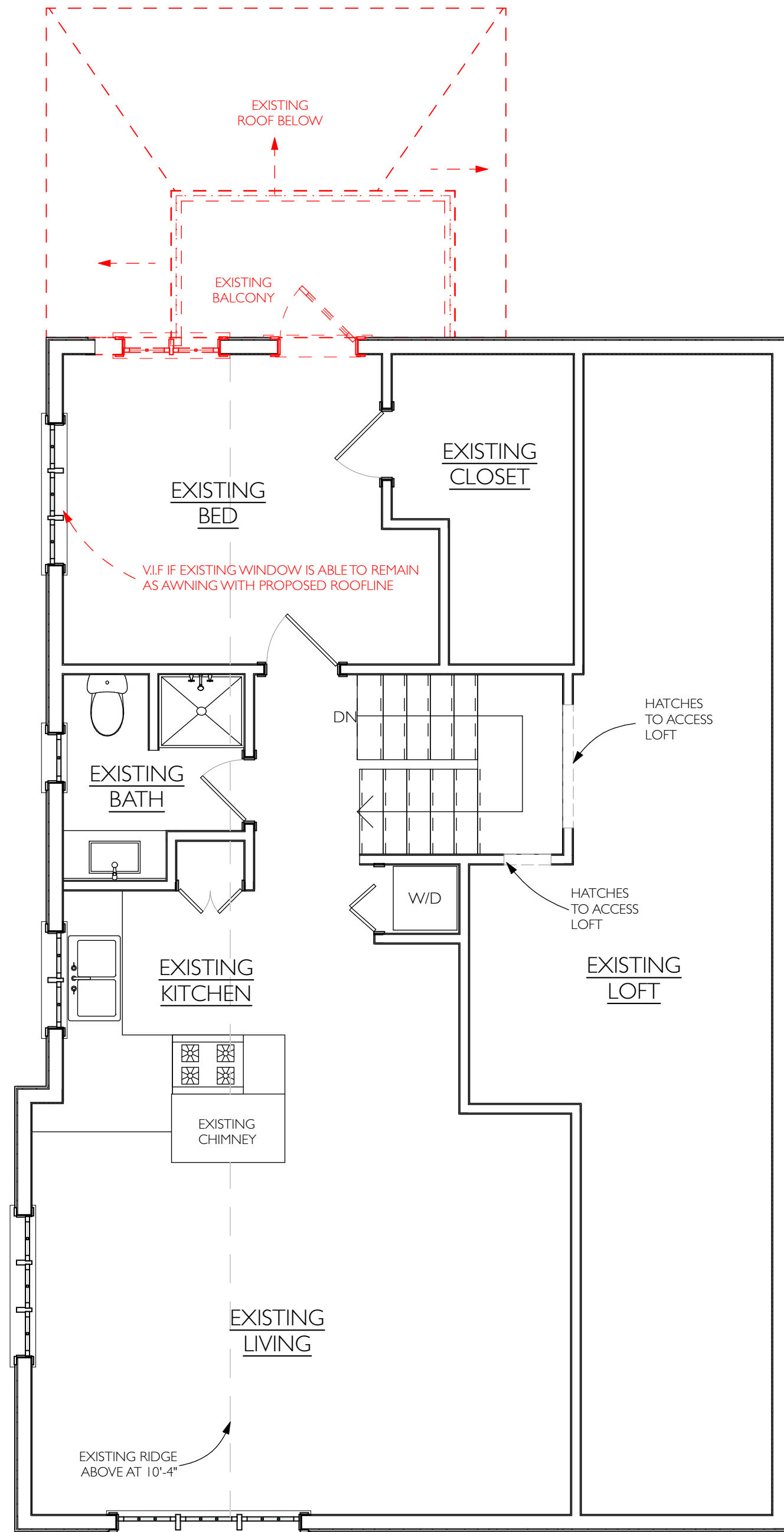
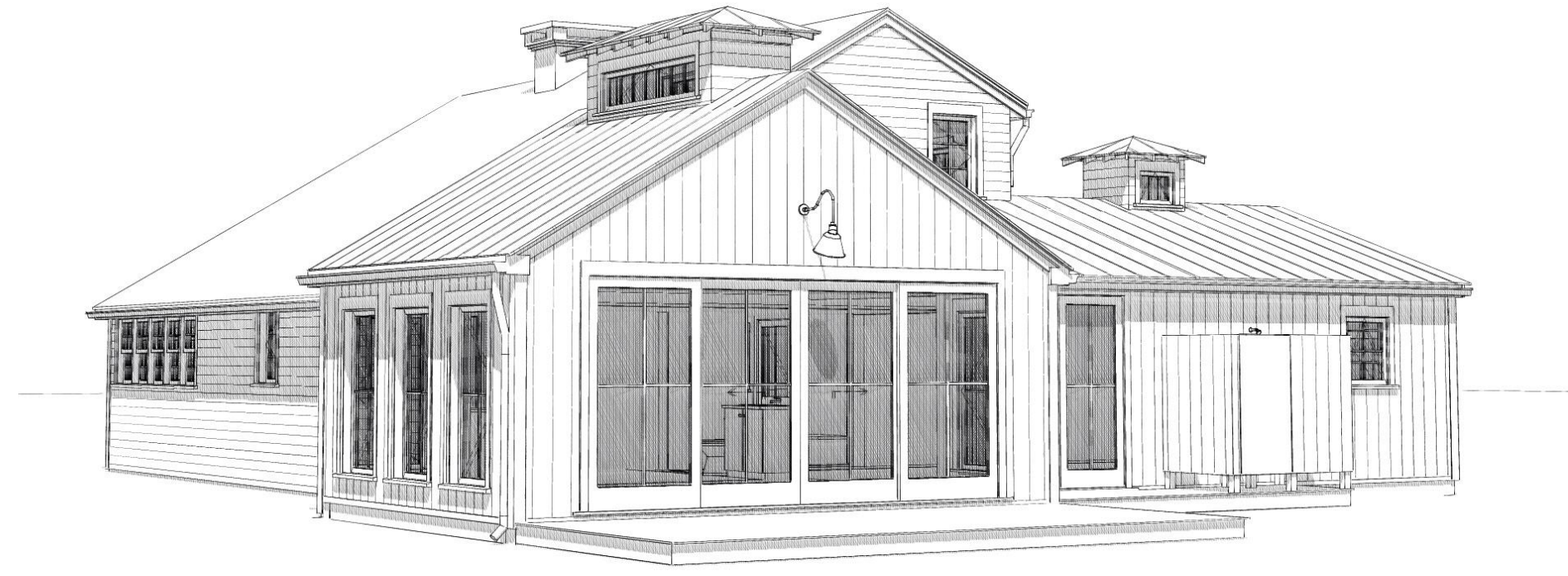


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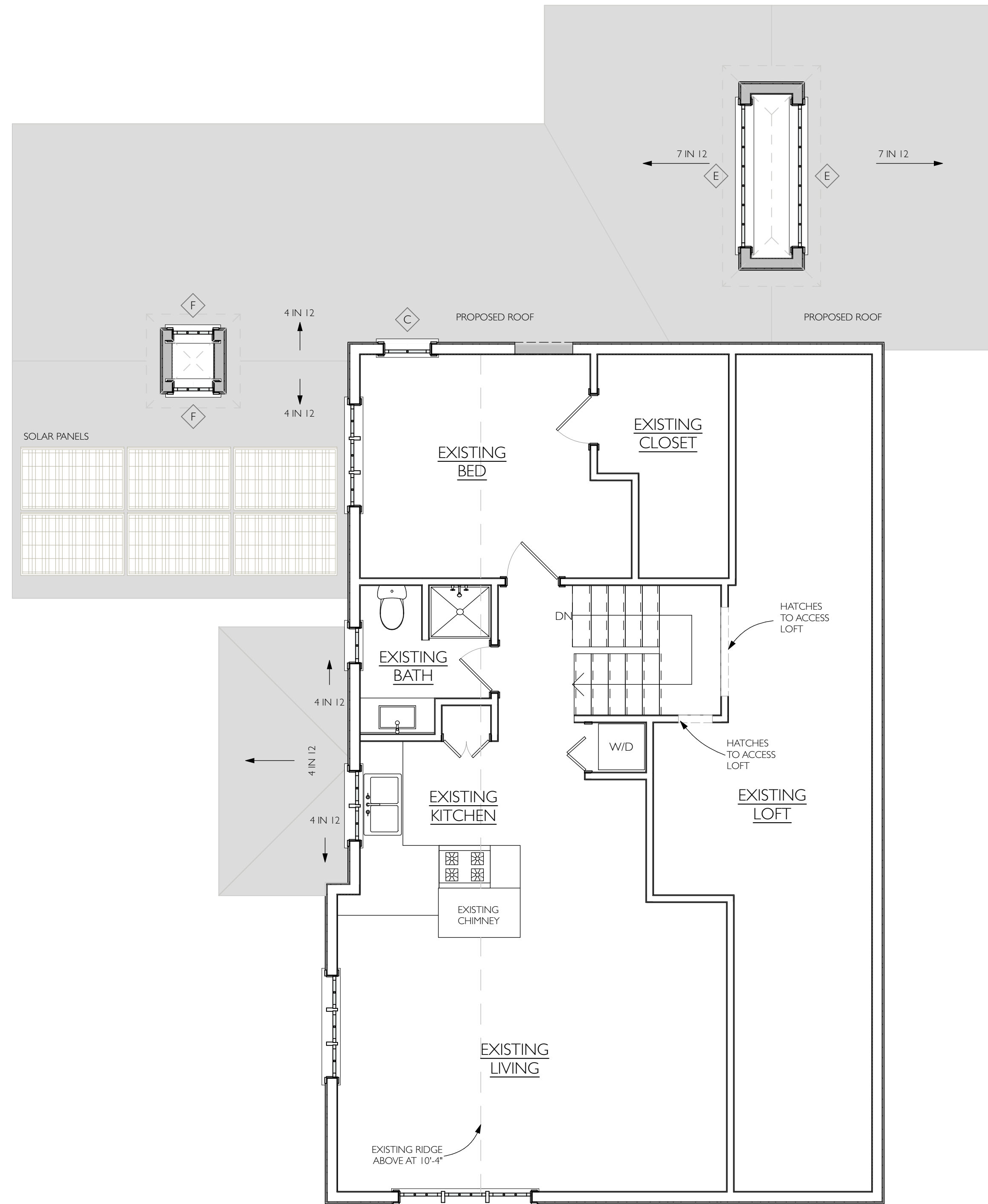
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217 INDIAN HILL ROAD, WEST TISBURY, MA
FIRST FLOOR PLAN

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MAP/PARCEL:	15-7
JOB #:	21D01
DRAWING #:	

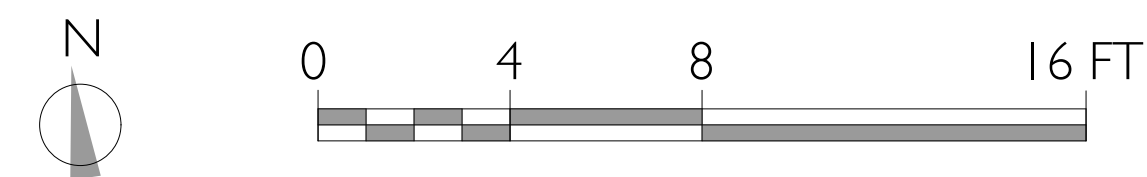
A-101



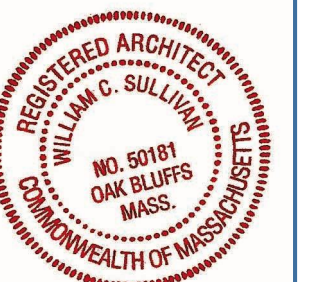
SECOND FLOOR PLAN - DEMO
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN-PROPOSED
SCALE: 1/4" = 1'-0"



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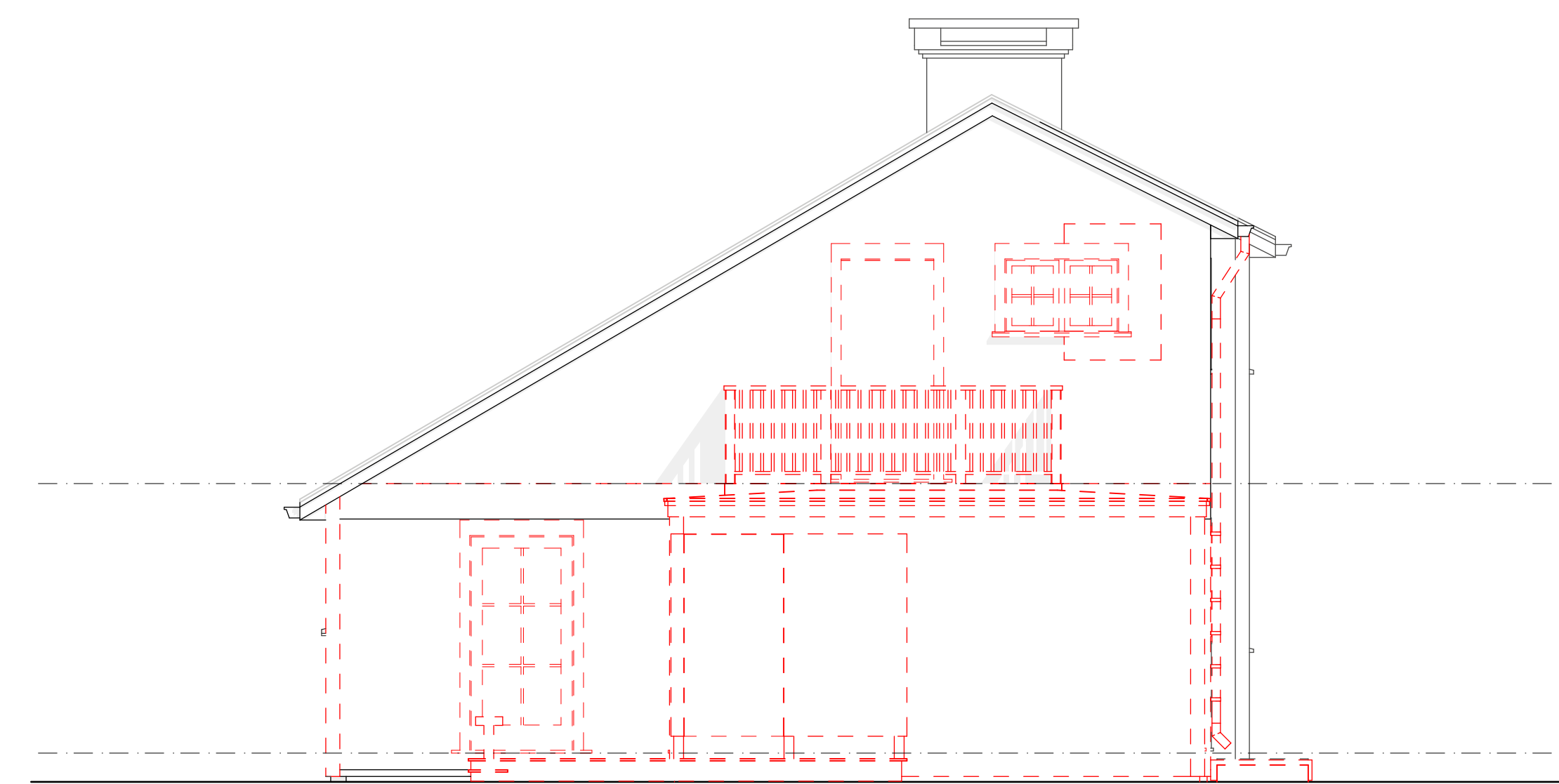
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ADDRESS: **217 INDIAN HILL ROAD, WEST TISBURY, MA**
SHEET TITLE: **SECOND FLOOR PLAN**

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MAP/PARCEL:	15-7
JOB #:	21D01
DRAWING #:	



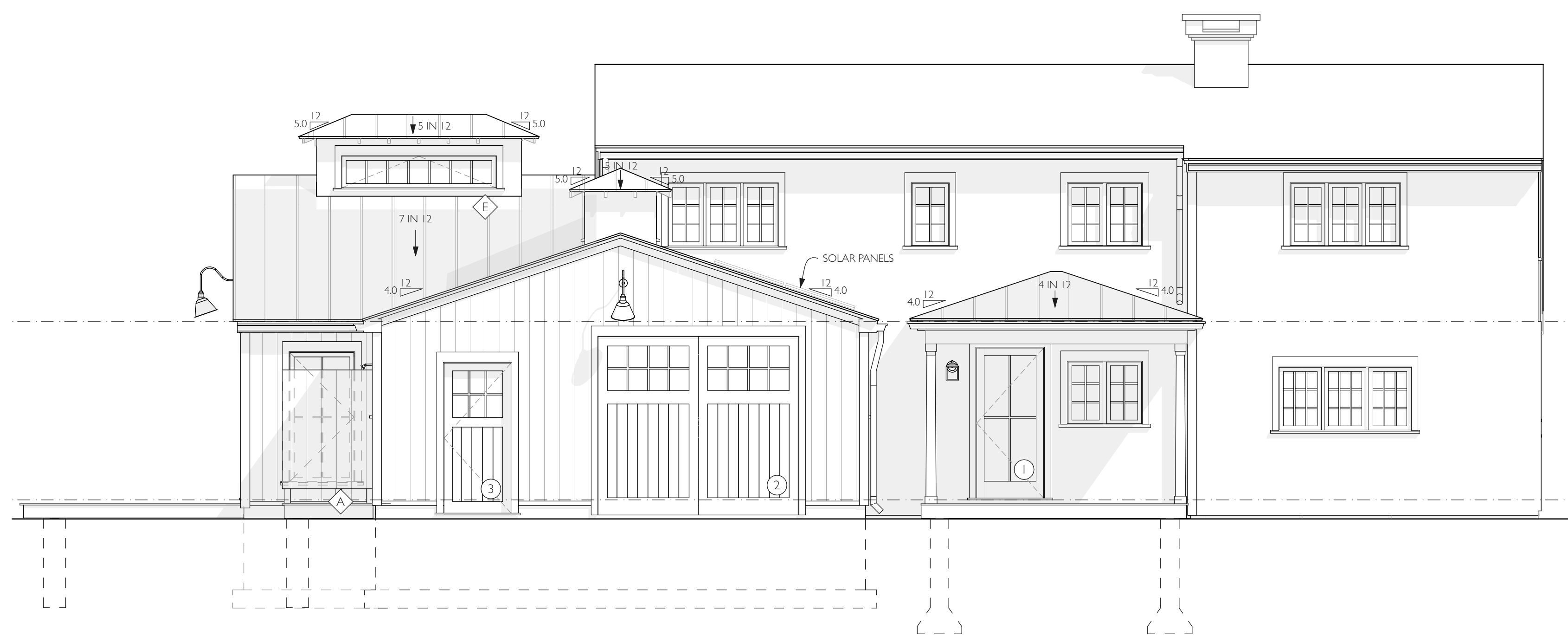
WEST ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



NORTH ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



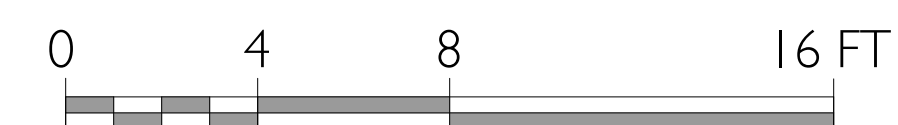
1 WEST ELEVATION-PROPOSED

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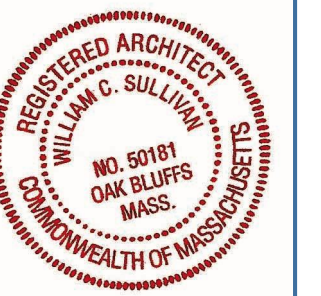


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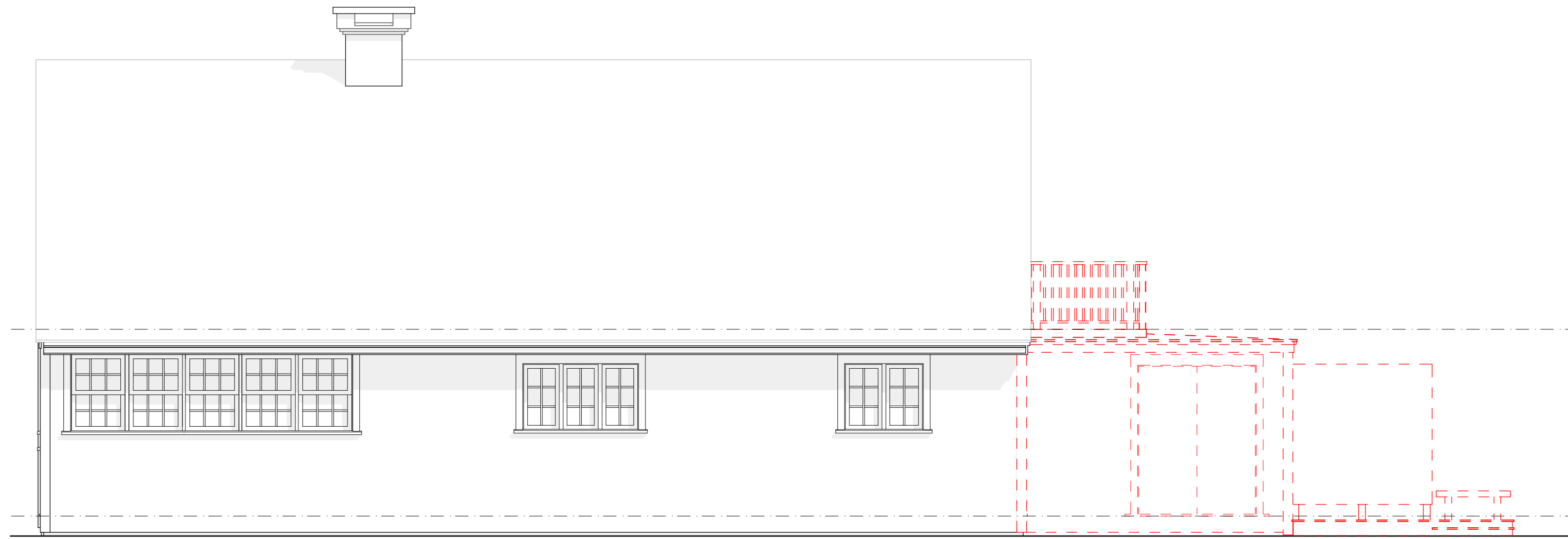
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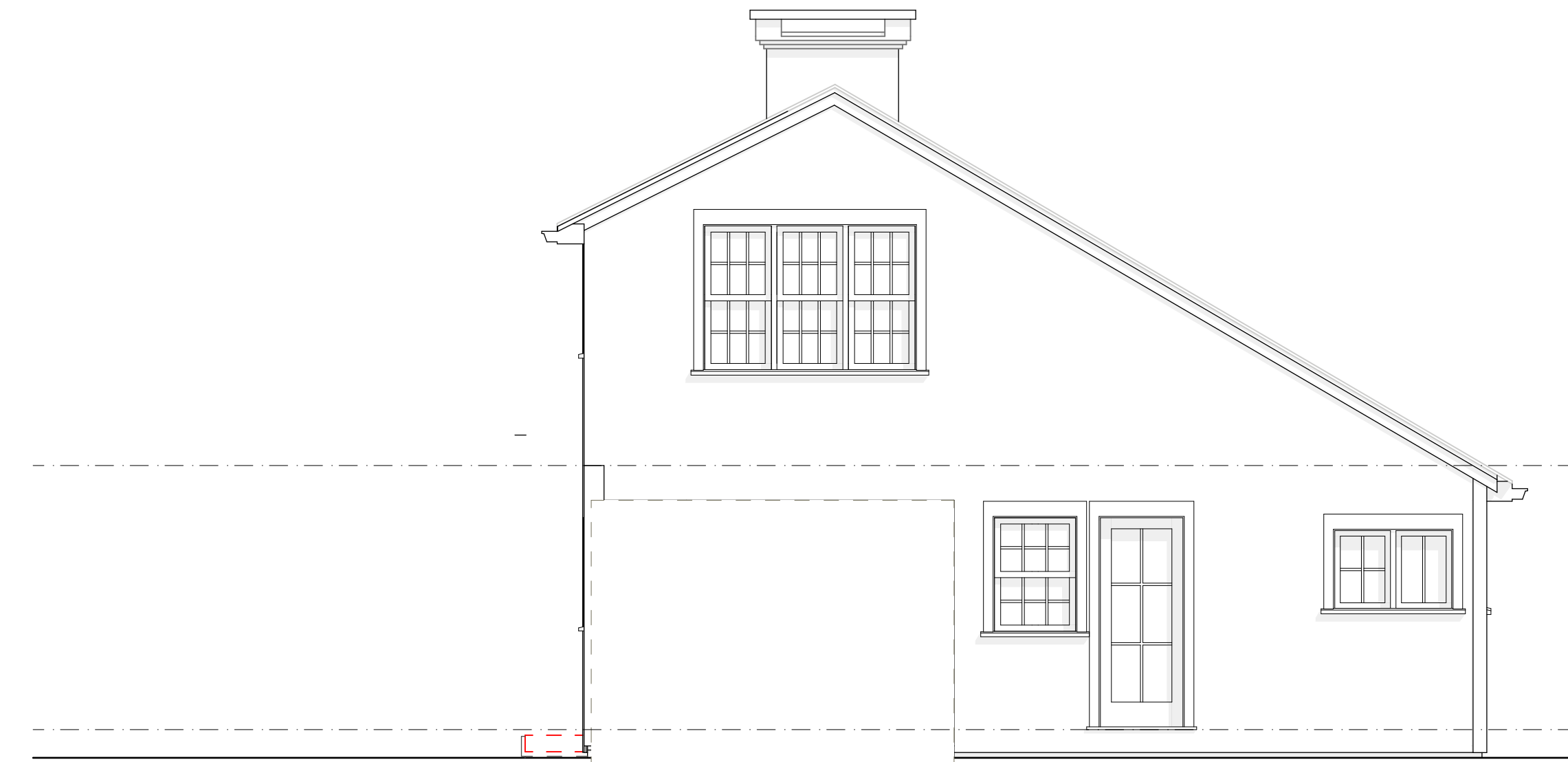


SET: DATE:



EAST ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



1 EAST ELEVATION-PROPOSED

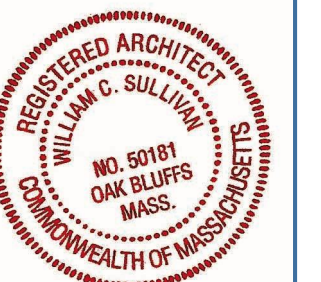
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2 SOUTH ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

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MAP/PARCEL: 15-7

JOB #: 21D01

DRAWING #:

FOUNDATION NOTES:

CONCRETE

1. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF THE OPENINGS FOR UNDERGROUND UTILITIES PRIOR TO ERECTION OF THE FORMS AND POURING OF THE CONCRETE.
2. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI WITH MAXIMUM 1" AGGREGATE AND MAXIMUM 6% AIR ENTRAINMENT FOR EXTERIOR CONCRETE EXPOSED TO MOISTURE.

FOUNDATIONS:

1. THE ALLOWABLE PRESUMED SOIL BEARING CAPACITY IS 2000 PSF, WHICH IS TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION.

DESIGN CRITERIA:

FOUNDATIONS:

- FOOTINGS TO BE 3000 PSI CONCRETE W/ REINFORCING
- FOUNDATION WALLS TO BE 3000 PSI CONCRETE
- FLOORS AND SLABS TO BE 2500 PSI CONCRETE

COMPACTED FILL:

1. FOOTINGS TO REST ON FIRM UNDISTURBED SOIL OR COMPACTED FILL 95% OF MAXIMUM DRY DENSITY.
2. ALL SOFT/ORGANIC OR UNSTABLE AREAS SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL.

DESIGN CRITERIA:

SOIL CONDITIONS:

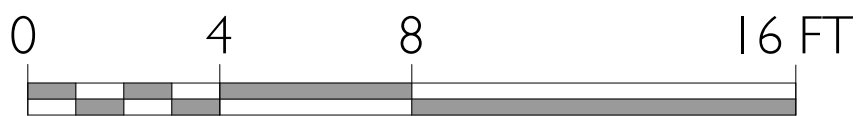
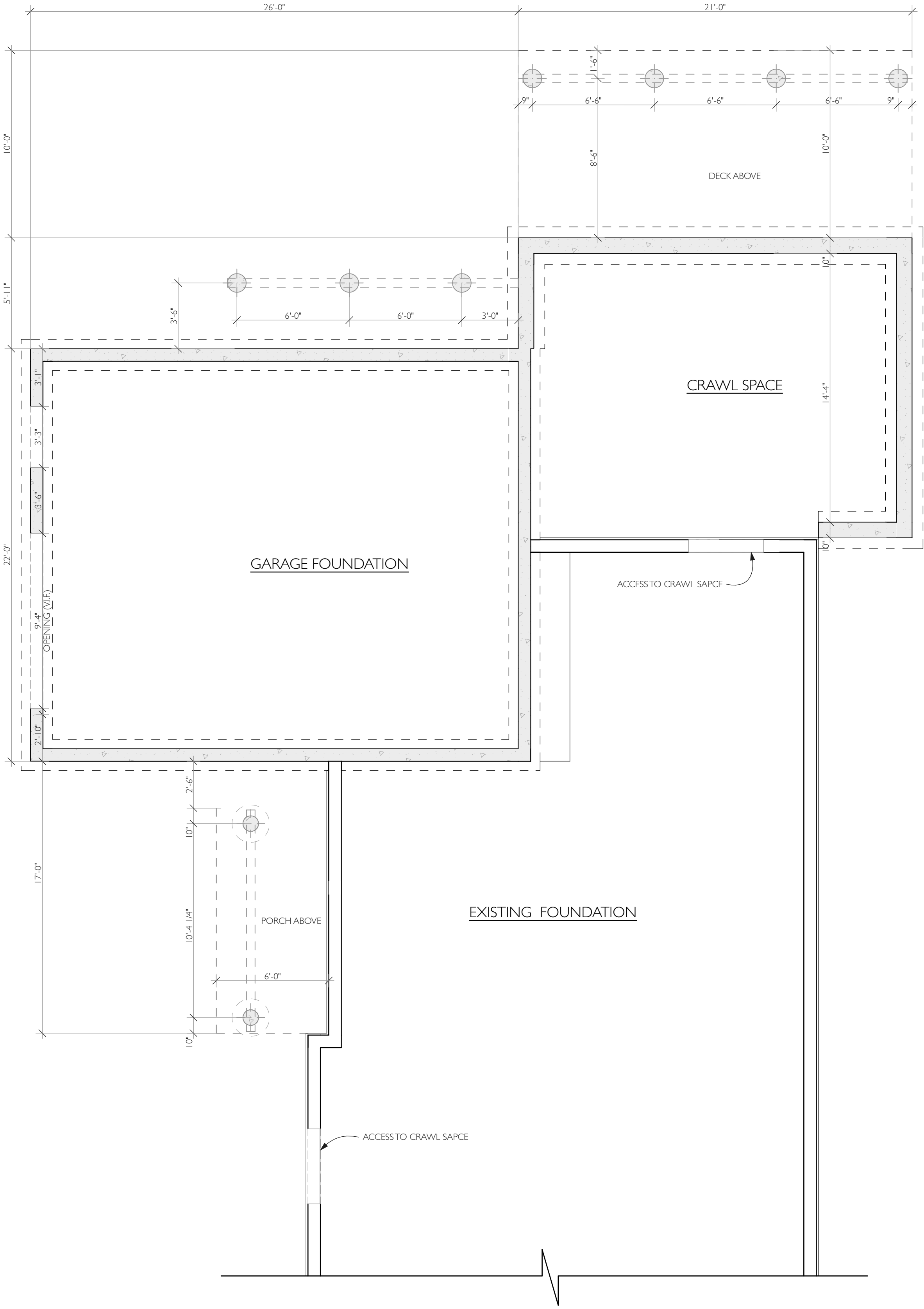
- ASSUMED SOIL BEARING 2000 PSF MIN.
- CONTRACTOR TO VERIFY CONDITIONS

PERIMETER FOUNDATION:

1. CONTRACTOR TO PROVIDE AND INSTALL PERIMETER DRAINAGE SYSTEM (AS REQUIRED PER SITE CONDITIONS)

FOUNDATION PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

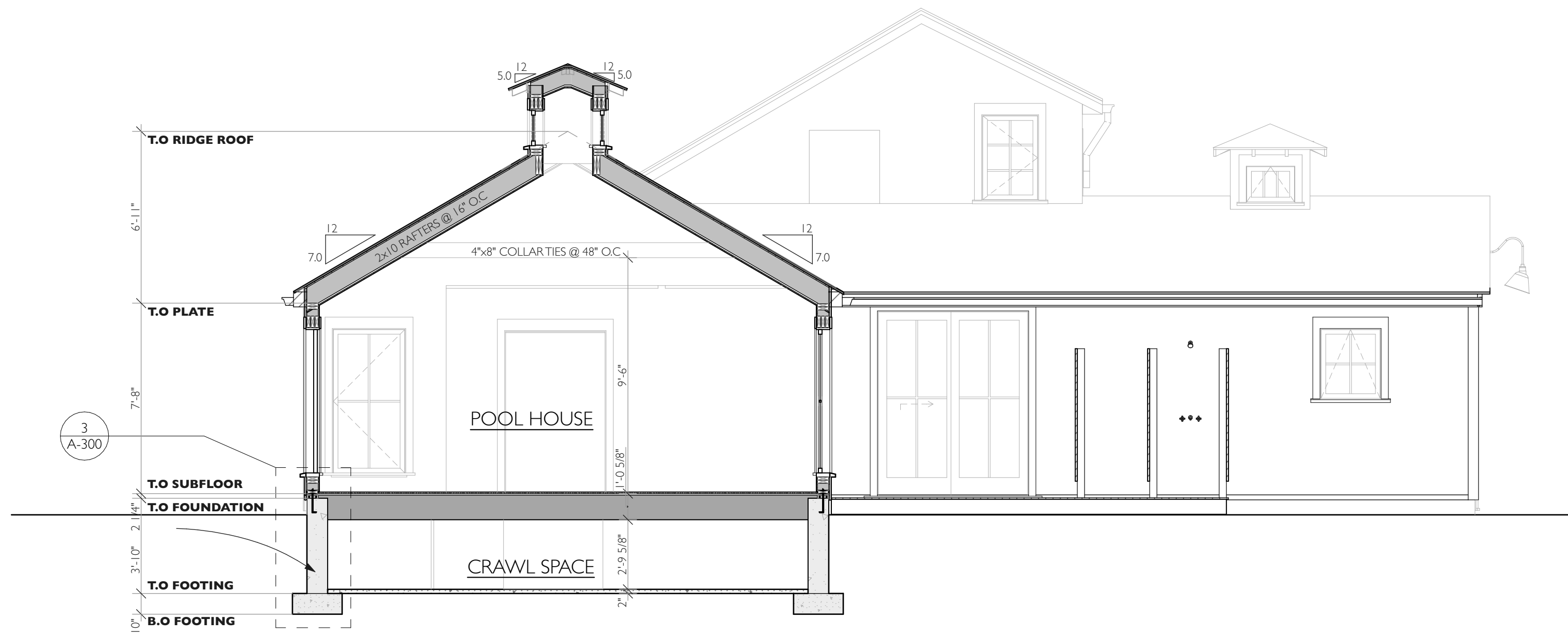


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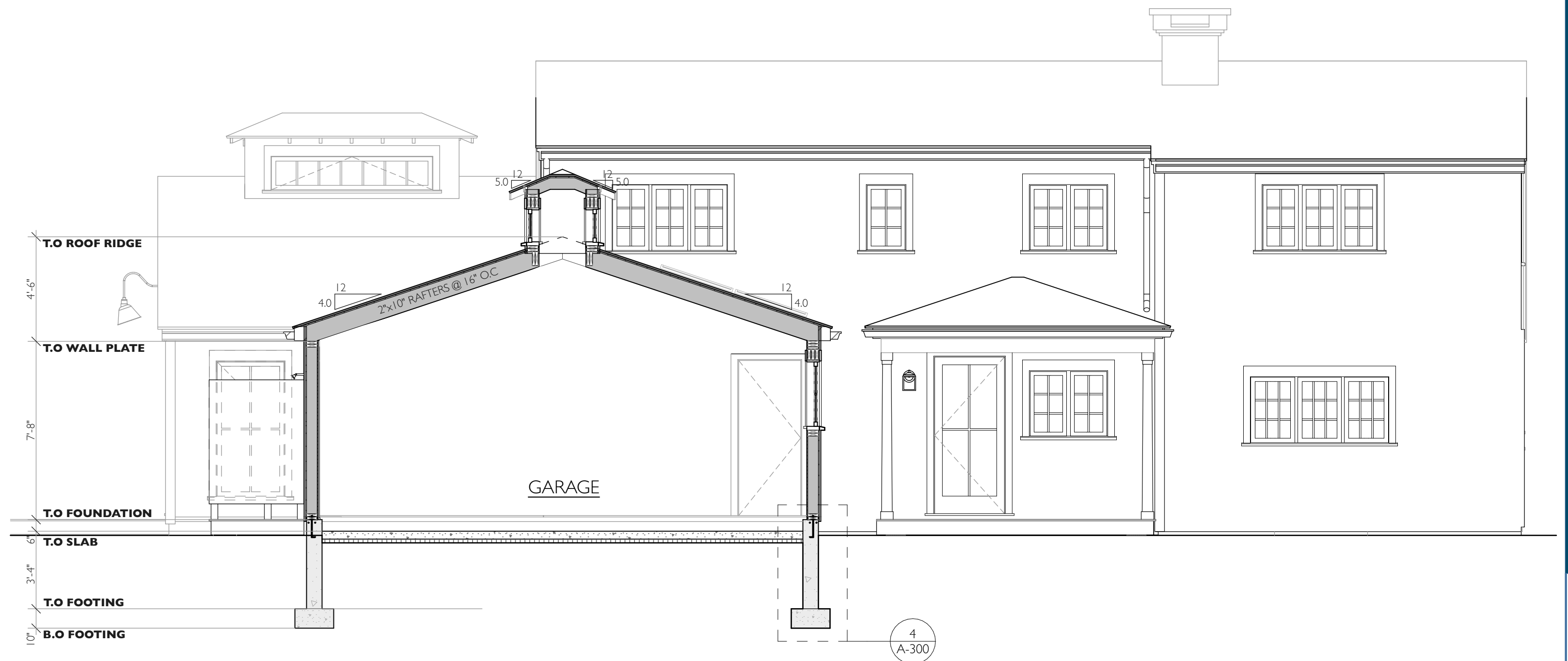
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SHEET TITLE: **FOUNDATION PLAN**

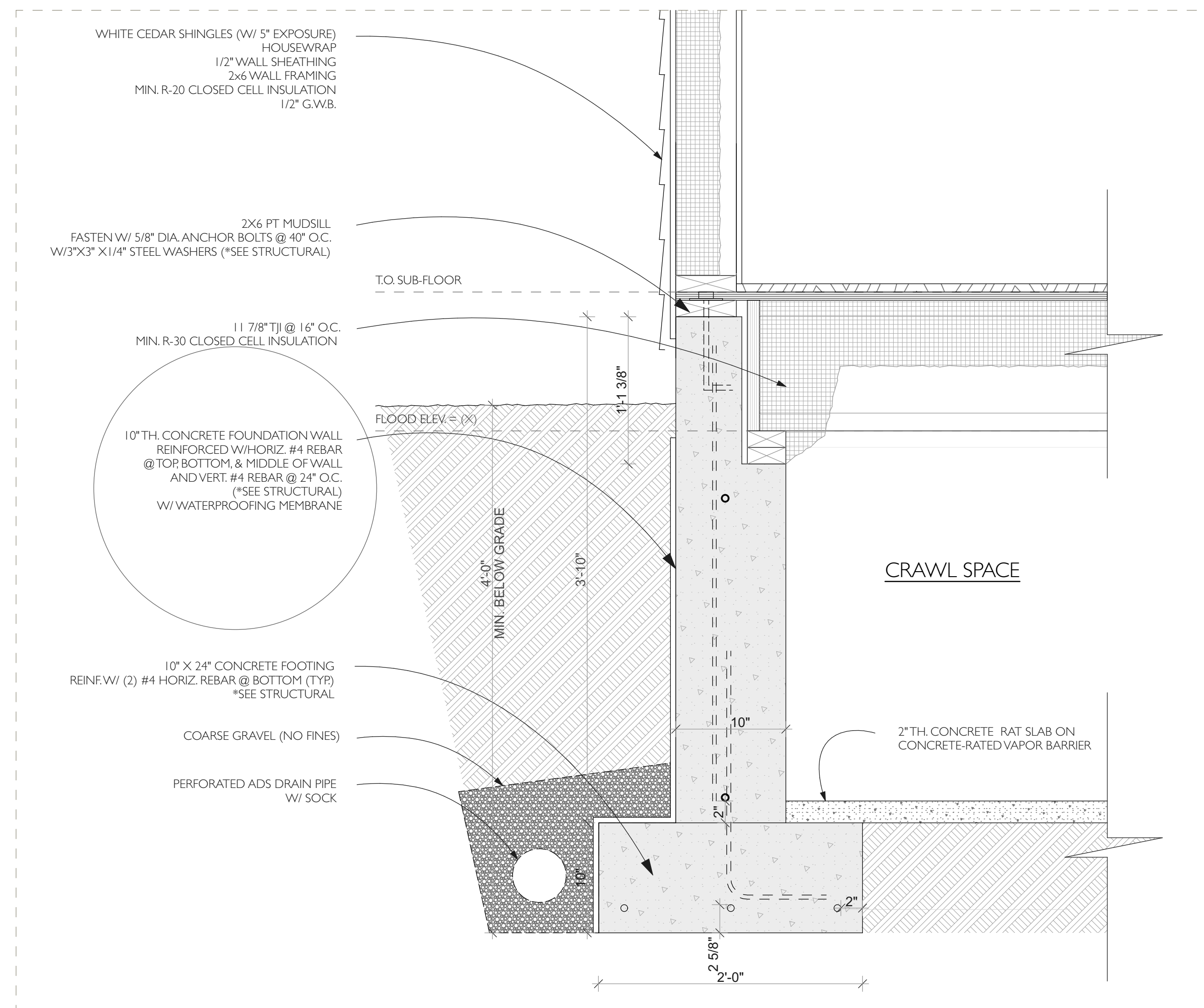
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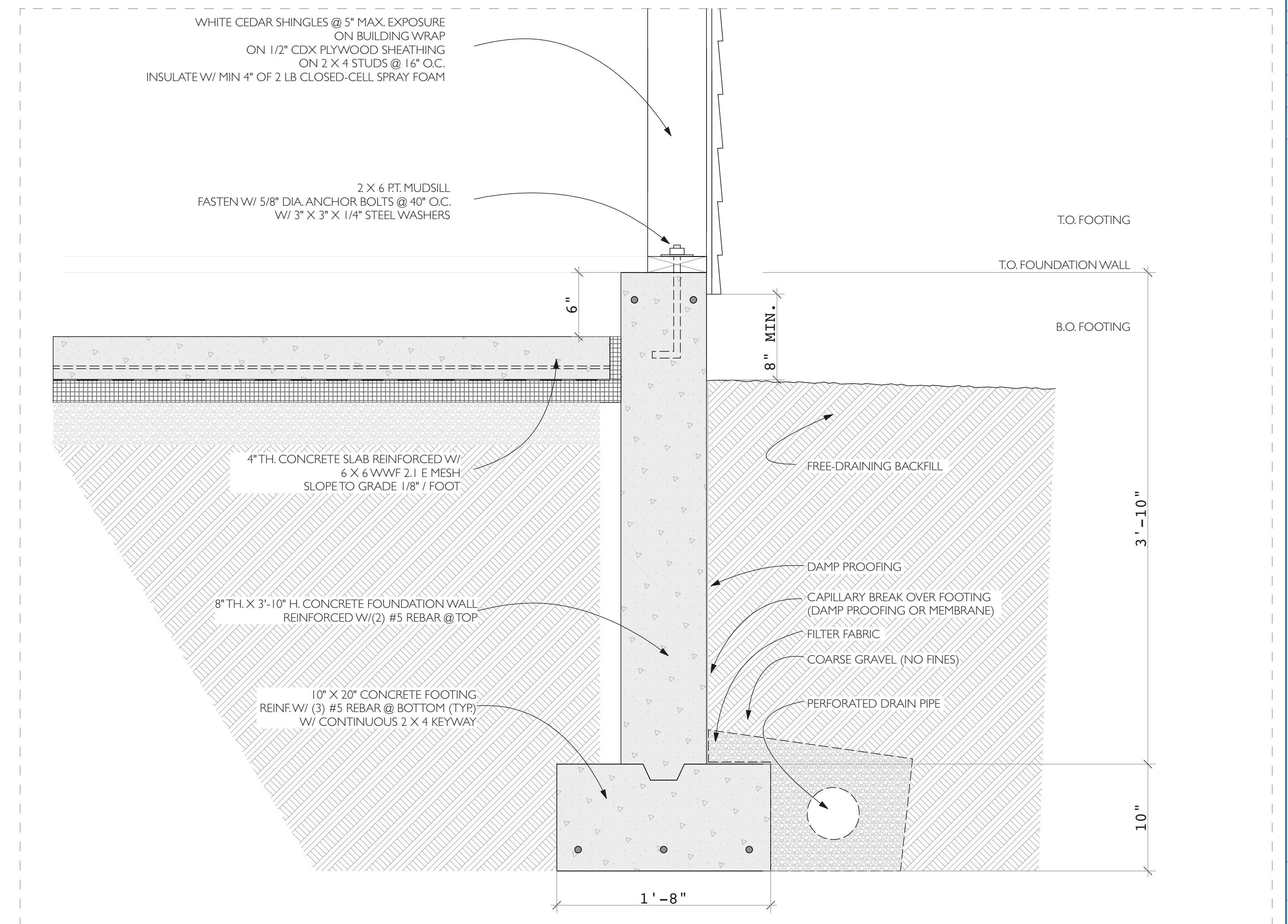
1 BUILDING SECTION
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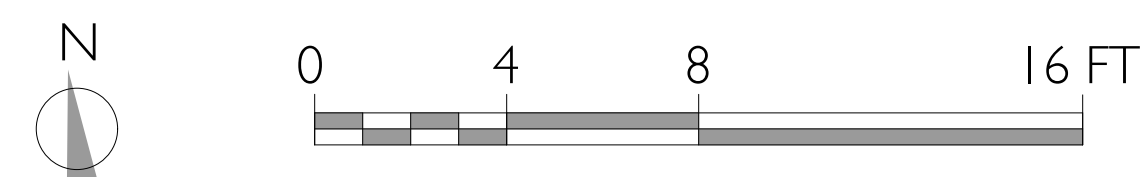
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 FDN CRAWLSPACE
SCALE: 1 1/2" = 1'-0"



4 FDN SLAB
SCALE: 1 1/2" = 1'-0"



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217 INDIAN HILL ROAD, WEST TISBURY, MA
BUILDING SECTION

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A-300

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