

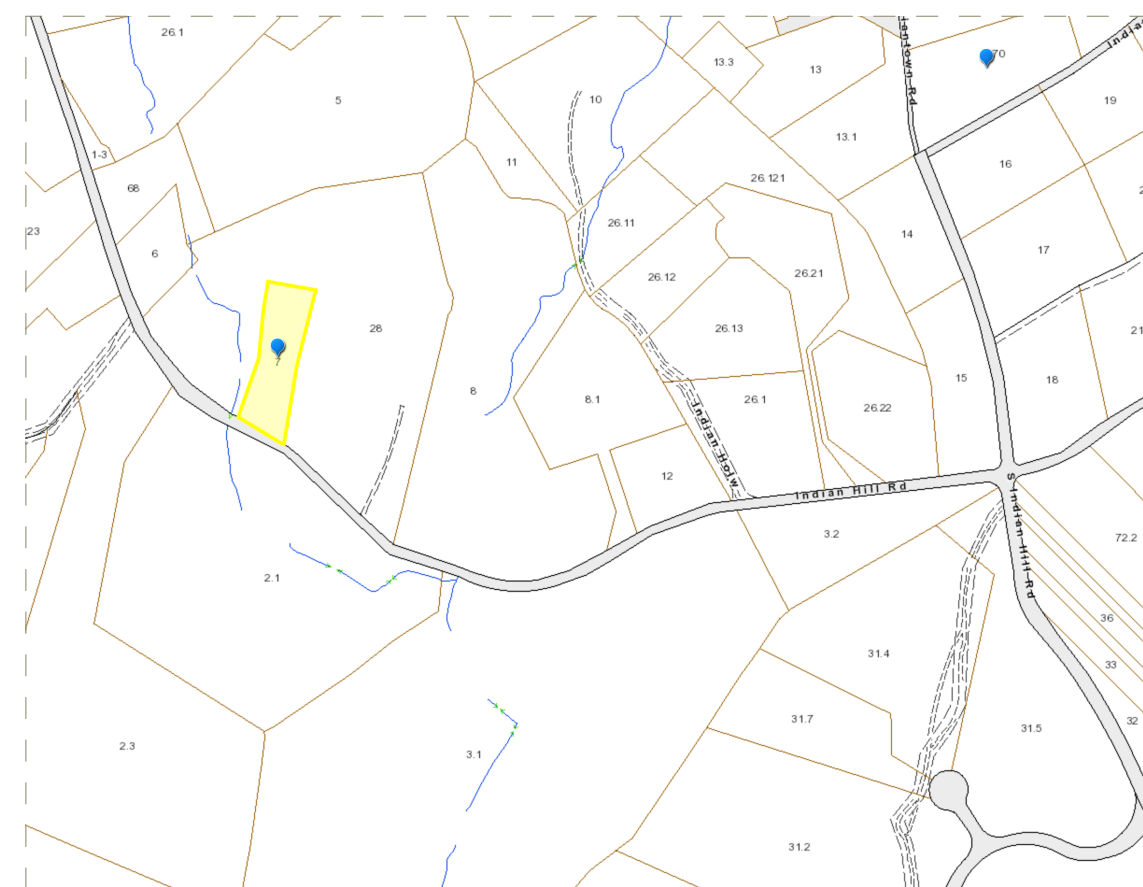
DEL PRETE RESIDENCE

217 INDIAN HILL ROAD, WEST TISBURY, MA

sullivan + associates
ARCHITECTS

508 693 0500
sullivanassociatesarchitects.com

217 INDIAN HILL ROAD, WEST TISBURY, MA



CODE COMPLIANCE : EDGARTOWN

DEL PRETE RESIDENCE
217 INDIAN HILL ROAD, WEST TISBURY, MA
MAP-PARCEL: 15-7
DISTRICT = RU

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	3 ACRES	1.5 ACRE	1.5 ACRE
FRONT SETBACK	50' MINIMUM	270'	270'
SIDEYARD SETBACK	50' MINIMUM	6'	19'
REAR YARD SETBACK	50' MINIMUM	90'	53' (POOL)
ROOF HEIGHT	30' MAX. PITCHED * MAX FLAT	25.4'	18.15' N/A

NOTES:

BUILDING CODE INFORMATION :

BUILDING CODE:
MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION

ENERGY CODE:
2018 IECC (ADOPTED BY MASSACHUSETTS FEBRUARY 7, 2020)

SHEET INDEX

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S-100	FOUNDATION PLAN

ISSUED FOR REVIEW ONLY

2022-04-26

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GLOSSARY

@ - AT	EST - ESTIMATE	MAS - MASONRY	S - SOUTH
CL - CENTERLINE	EXIST - EXISTING	MAX - MAXIMUM	SA.F - SELF-ADHERED FLASHING
PL - PROPERTY LINE	EXPO - EXPOSED / EXPOSURE	M.B. - MACHINE BOLT	SAM - SELF-ADHERED MEMBRANE
Ø - DIAMETER	EXT - EXTERIOR	M.C. - MEDICINE CABINET	S.C. - SOLID CORE
# - POUND OR NUMBER	FD - FLOOR DRAIN	MDF - MEDIUM DENSITY FIBERBOARD	S.D. - SMOKE DETECTOR
(E) - EXISTING	FE - FIRE EXTINGUISHER	MDO - MEDIUM DENSITY OVERLAY	SCHED - SCHEDULE
(N) - NEW	FF - FIRST FLOOR	MECH - MECHANICAL	SECT - SECTION
ABV - ABOVE	FF - FINISH FLOOR TO FINISH FLOOR	MLAM - MICROLAM	S.G. - SAFETY GLASS
ACC - ACCESS	FIN - FINISH	MEMB - MEMBRANE	SH - SHELF
ACOUS - ACOUSTICAL	FDN - FOUNDATION	MTL - METAL	SIP - STRUCTURAL INSULATED PANEL
AD - AREA DRAIN	FLASH - FLASHING	MIR - MANUFACTURER	SHR - SHOWER
ADJ - ADJUSTABLE	FL FLOOR / FLOORING	MIN - MINIMUM	SHT - SHEET
AFF - ABOVE FINISHED FLOOR	FLUOR - FLUORESCENT	MISC. - MISCELLANEOUS	SHT.MTL - SHEET METAL
AIB - AIR INFILTRATION BARRIOR	FO - FACE OF	MTD - MOUNTED	SHTG - SHEATHING
ALT - ALTERNATING	FOC - FACE OF CONCRETE	MAT - MATERIAL	SM - SIMLAR
APPROX - APPROXIMATE	FOIC - FURNISHED BY OWNER - INSTALLED BY CONTRACTOR	MUL - MULLION	SL - SLAB
ARCH - ARCHITECT	FOM - FACE OF MASONRY	N - NORTH	S.O.G. - SLAB ON GRADE
BD - BOARD	FOS - FACE OF STUDS	N/A - NOT APPLICABLE	SPEC - SPECIFICATION
BLDG - BUILDING	FOF - FACE OF FINISH	N/C - NOT IN CONTRACT	SF - SECOND FLOOR
BLKG - BLOCKING	FOS. - FACE OF STUDS	NO - NUMBER	S/F - SUBFLOOR
BM - BEAM	FR - FRAME	NAT - NATURAL	SQIN - SQUARE INCHES
B.O. - BOTTOM OF	FRFP - FIREPROOF	QA - OVERALL	SS - STAINLESS STEEL
B - BOTTOM	FRPL - FIREPLACE	O/C - ON CENTER	STA - STATION
BTW - BOTH WAYS	FTG - FOOTING	ODIA - OUTSIDE DIAMETER	STD - STANDARD
BP - BASE PLATE	FT - FOOT OR FEET	O.D. - OVERFLOW DRAIN	STL - STEEL
CAB - CABINET	FURR - FURRING	OFF - OFFICE	STOR - STORAGE
C.B. CATCH BASIN	FUT - FUTURE	OH - OVERHEAD	STAGG - STANGGERED
CM - CEMENT	FW - FULL WIDTH	OPNG - OPENING	STR - STRUCTURAL
CER - CERAMIC	FG - FINISH GRADE	OPP - OPPOSITE	SUSP - SUSPENDED
C.I.P. - CAST IN PLACE	FND - FOUNDATION	OP.H.D. - OPPOSITE HAND	SYM - SYMMETRICAL
C.J. - CONTROL JOINT	GA - GAUGE	PERF - PERFORATED	T - TREAD
CLG - CEILING	GALV - GALVANIZED	PERP - PERPENDICULAR	TB - TOWEL BAR
CLKG - CALLUING	G.C. - GENERAL CONTRACTOR	PL - PLATE	TC - TOP OF CURB
CL - CENTER LINE	GL - GLASS	PLAM - PLASTIC LAMINATE	TEL - TELEPHONE
CLO - CLOSET	GLAM - GLUE-LAMINATED	PLAS - PLASTER	TER - TERRAZZO
CLR - CLEAR	GR - GRADE	PWD - PLYWOOD	T & G - TONGUE AND GROOZE
CMU - CONCRETE MASONRY UNIT	C.W.B. - GYPSUM WALL BOARD	PNL - PANEL	T.G. - TEMPERED GLASS
CONTR. COUNTER	HB - HORSE BIB	PR - PAIR	THK - THINK
COL - COLUMN	H.C. - HOLLOW CORE	PRCST - PRE-CAST	T.O. - TOP OF
CONC. - CONCRETE	H.D.O. - HIGH DENSITY OVERLAY	PT - POINT	T.O.S. - TOP OF SLAB / TOP OF STEEL
CONN - CONNECTION	HDR - HEADER	PTD - PAINTED	T.O.W. - TOP OF WALL
CONT - CONTINUOUS	HDWD - HARDWOOD	PTN - PARTITION	TRH - TOILET PAPER HOLDER
CORR - CORRIDOR	HDWE - HARDWARE	PLY - PLYWOOD	T/ - TOP
CT CERAMIC TILE	HEM - HEMLOCK	PSF - POUND PER SQUARE FOOT	T/B - TOP AND BOTTOM
CPT - CARPET / CARPETED	H.M. HOLLOW METAL	PSI - POUND PER SQUARE INCH	TBD - TO BE DETERMINED
CTR - CENTER	HORIZ - HORIZONTAL	PSL - PARALLEL STRAND LUMBER	TBR - TO BE REMOVED
DBL - DOUBLE	HP - HIGH POINT	PT. - PRESSURE TREATED	TJ - ENGINEER JOIST
DEMO - DEMOLITION	HR - HOUR	PTD - PAINTED	TP - TOP PLATE
DTL - DETAIL	HT - HEIGHT	R - RAISER	TYP - TYPICAL
DEV - DEVELOPMENT	HVAC - HEATING / VENTILATING / AIR CONDITIONING	R.A. - RETURN AIR	UNO - UNLESS OTHERWISE NOTED
DIA. Ø - DIAMETER	HW - HOT WATER	RAD - RADIUS	VCT - VINYL COMPOSITION TILE
DIM - DIMENSION	ID - INSIDE DIAMETER	VEN - VENEER	VERT - VERTICAL
DIR - DIRECTION	IN - INCH	R.B. - RUBBER BASE	VEST - VESTIBULE
DN - DOWN	INSUL - INSULATION	R.D. - ROOF DRAIN	VF - VERIFY IN FIELD
D.O. - DOOR OPENING	INT - INTERIOR	RET - RETAINING	W - WITH
DR - DISHWASHER	JB - JUNCTION BOX	REF - REFERENCE	W - WEST
DWG - DRAWING	JF - JOINT FILLER	RFR - REFRIGERATOR	W.C. - WESTERN RED CEDAR
E - EAST	JT - JOINT	REIN - REINFORCED	WC - WATER CLOSET
EA - EACH	L.S.L. - LAMINATED STRAND LUMBER	REM - REMANDER	WD - WOOD
EA/W - EACH WAY	L.V.L. - LAMINATED VENEER LUMBER	REQ - REQUIRED	WF - WIDE FLANGE
ECT - ETCETERA	LAM - LAMINATE / LAMINATED	REV - REVISION / REVISIONS / REVISED	WH - WATER HEATER
ELEV - ELEVATION	LAV - LAVATORY	RGTR - REGISTER	W/O - WITHOUT
ELEC. ELECTRICAL	LF - LINEAL FEET	R.H. RIGHT HAND	WN - WINDOW
EMBED - EMBEDDED	LOC - LOCATION	RO - ROUGH OPENING	WP - WATERPROOF
ENCL - ENCLOSURE	LP - LOW POINT	R.V.P. - RADON VENT PIPE	WR - WATER RESISTANT
ENG - ENGINEER	LT - LIGHT	RWL - RAIN WATER LEADER	WT - WEIGHT
EQ - EQUALLY			Z.C.C. - ZINC COATED COPPER
EQUIP - EQUIPMENT			

GENERAL NOTES

1. CODES: ALL WORK SHALL CONFORM TO THE CURRENT MASSACHUSETTS STATE BUILDING CODES LISTED IN BUILDING CODE INFORMATION TABLE ON TITLE PAGE.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICT EXISTS.
3. ALL FRAMING SHALL BE LEVEL, PLUMB, AND TRUE TO LINES SHOWN.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
5. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT BLOCKING, BAKING, AND JACKS REQUIRED FOR INSTALLATION.
6. VERIFY LOCATION OF ALL EXISTING UTILITIES AND SLEEVING: CAP, MARK, AND PROTECT AS NECESSARY TO COMPLETE THE WORK. PROVIDE AS-BUILT PLAN OF ALL UTILITY LOCATIONS.
7. NOTIFY OWNER 10 DAYS IN ADVANCE OF DEMOLITION.
8. SET ALL TILES WITH JOINTS AS DIRECTED BY OWNER OR ARCHITECT. ALL TILES SHALL BE ACCURATELY ALIGNED AND TRUE TO PLANE.
9. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
10. ALL PLUMBING AND VENTING SHALL BE ACCORDING TO LOCAL CODES.
11. SERVICE WATER PIPES IN UNHEATED SPACES TO BE INSULATED.
12. INSULATION IS TO BE PROVIDED AT ALL BATHROOMS AND AHU CLOSETS.
13. PROVIDE FIREBLOCKING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
14. PROVIDE DRAFTSTOPPING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
15. MOUNT ALL DOOR HARDWARE HANDSETS AT 36" TO CENTERLINE UNLESS OTHERWISE NOTED. ERIFY W/ ARCHITECT.
16. USE CAST IRON WASTE LINES FOR ALL PLUMBING IN CEILINGS AND WALLS.
17. ALL INSULATION MATERIALS SHALL HAVE FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE-DEVELOPED RATING NOT TO EXCEED 450, PER MASSACHUSETTS STATE BUILDING CODE.
18. CLEAR DEBRIS FROM ALL VENTILATION DRILL HOLES AND NOTCHES.
19. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AS WELL AS THE NATIONAL ELECTRIC CODE, MOST RECENT ADDITION.
20. THE CONTRACTOR IS REQUIRED TO COORDINATE BETWEEN THE TRADES THE SEQUENCE OF THE CONSTRUCTION AND THE REQUIRED REVIEW AND APPROVALS FOR THE HOUSE TO BE CERTIFIED AS ENERGY STAR COMPLIANT.

MATERIAL SYMBOLS & LEGEND

	CEDAR SHINGLES		GYPSUM BOARD		STEEL
	FOUNDATION WALLS		BRICK COMMON		SAA CEDAR SIDE WALL
	CONCRETE LIGHTWEIGHT		BRICK COMMON BOND		GLASS
	LVL		BLOCK MASONRY		STONE
	DECK BOARD		GRADE		PROPOSED WALLS
	WOOD SIDING		WOOD FLOORING		EXISTING WALLS
	PLYWOOD		GRAVEL		BLOCK CONCRETE
	INSULATION FOAMBOARD		SUB FLOORING		CMU BLOCK
	RIGID INSULATION		DOLMIT		

SYMBOLS & LEGEND

	SLOPE SYMBOL		NORTH ARROW
	MARK SECTION		REVISION INDICATOR
	MARK ELEVATION		2X PLATE
	ROOM ELEVATION		2X BLOCKING PLATE
	DETAIL MARKER		SECTION BREAK LINE
			FLOOR PLAN ELEVATION

WINDOW SCHEDULE - FOR PRICING ONLY

MARK	QUANT.	TYPE	MANUF	MODEL#	LITES	FRAME SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
A	5	CASEMENT	LOEWEN	TBD		3'-0"	6'-0"	EGRESS
B	2	AWNING	LOEWEN	TBD		2'-6"	3'-0"	EGRESS
C	1	CASEMENT	LOEWEN	TBD		2'-4"	3'-7 1/4"	
E	2	AWNING	LOEWEN	TBD		7'-0"	1'-7 1/4"	
F	2	AWNING	LOEWEN	TBD		2'-0"	1'-7 1/4"	

DOOR SCHEDULE - FOR PRICING ONLY

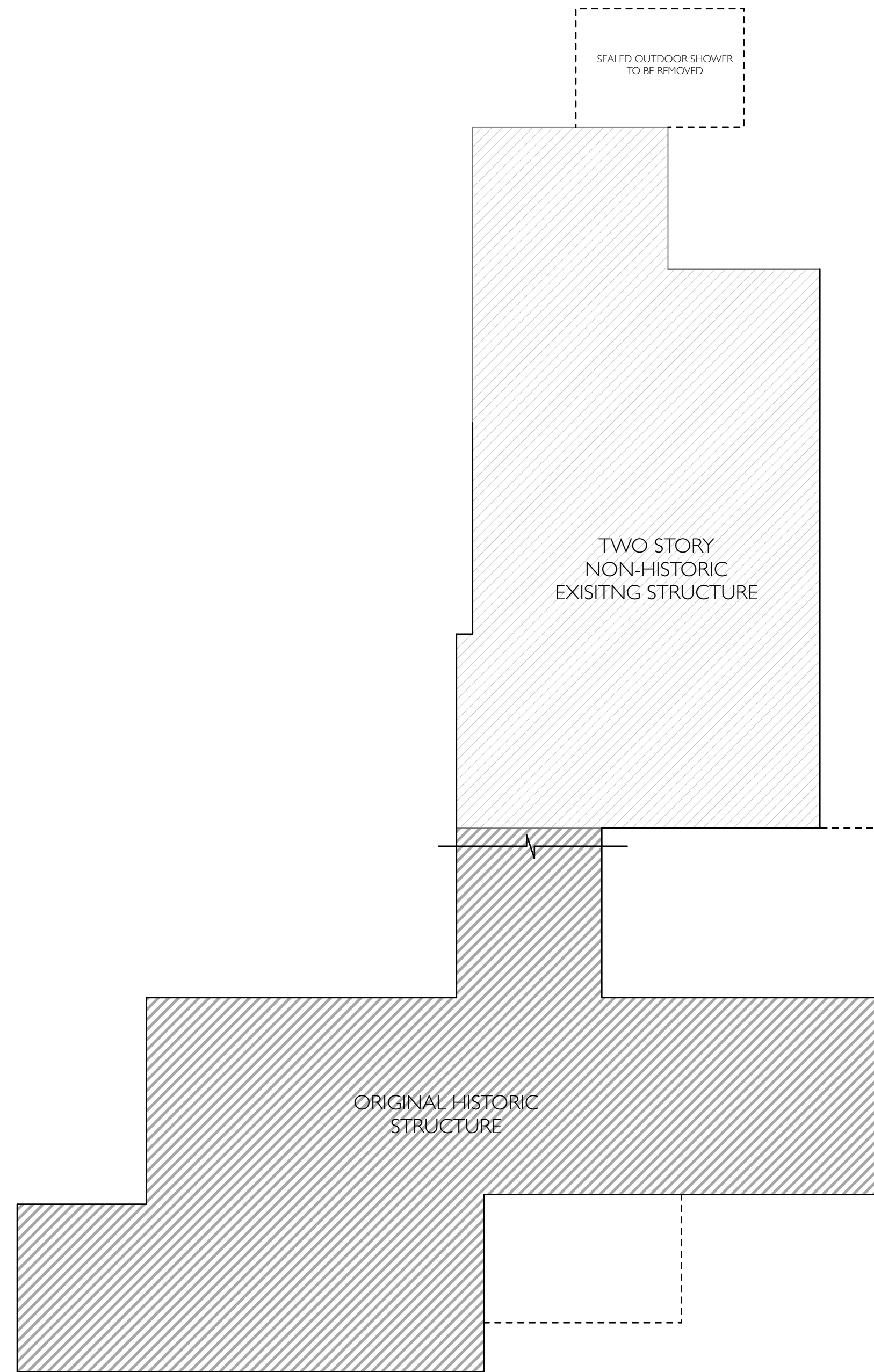
MARK	QUANT.	TYPE	MANUF.	MODEL#	LITES	UNIT SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
1	1	FRENCH DOOR	LOEWEN	TBD		3'-0"	6'-9 3/4"	
2	1	GARAGE DOOR	CUSTOM	TBD		9'-0"	8'-0"	
3	1	FRENCH DOOR	LOEWEN	TBD		3'-0"	6'-9 3/4"	
4	1	SLIDING DOOR	LOEWEN	TBD		6'-0"	7'-6"	
5	1	LIFT & SLIDE DOOR	LOEWEN	TBD		16'-0"	7'-6"	

Notes:
 Windows and Doors to be insulated Low-E argon-filled double-pane glass to meet or exceed energy performance U-Factor of 0.32.
 Window Manufacturer/Contractor to obtain sign-off from Architect on which units require tempered glass before placing order.
 Windows and Doors glazing are required to meet Wind Borne Debris Region requirements for Large Missile Test of ASTM E 1996 and of ASTM E 1886.
 Garage door glazed opening protection for windborne debris shall meet the requirements of an approved impact resisting standard or ANSI/DASMA 115.
 Wood structural panels constructed to meet code, shall be provided for all exterior glazed openings, and any existing openings as indicated on architectural plans (See detail W-02)
 Windows and Doors to meet required Design Pressures ratings for Wind Speed, Exposure Zone, and Roof Height listed on these drawings.
 Contractor to submit Manufacturer's Design Pressures ratings for sign-off approval on all windows and doors before placing order.
 Contractor to obtain rough openings from manufacturer for framing.
 All Windows to be _____; Color: _____; Hardware: _____
 All Terrace Doors to be _____; Color: _____; Hardware: _____
 Terrace Door Interior to be _____; Color: _____



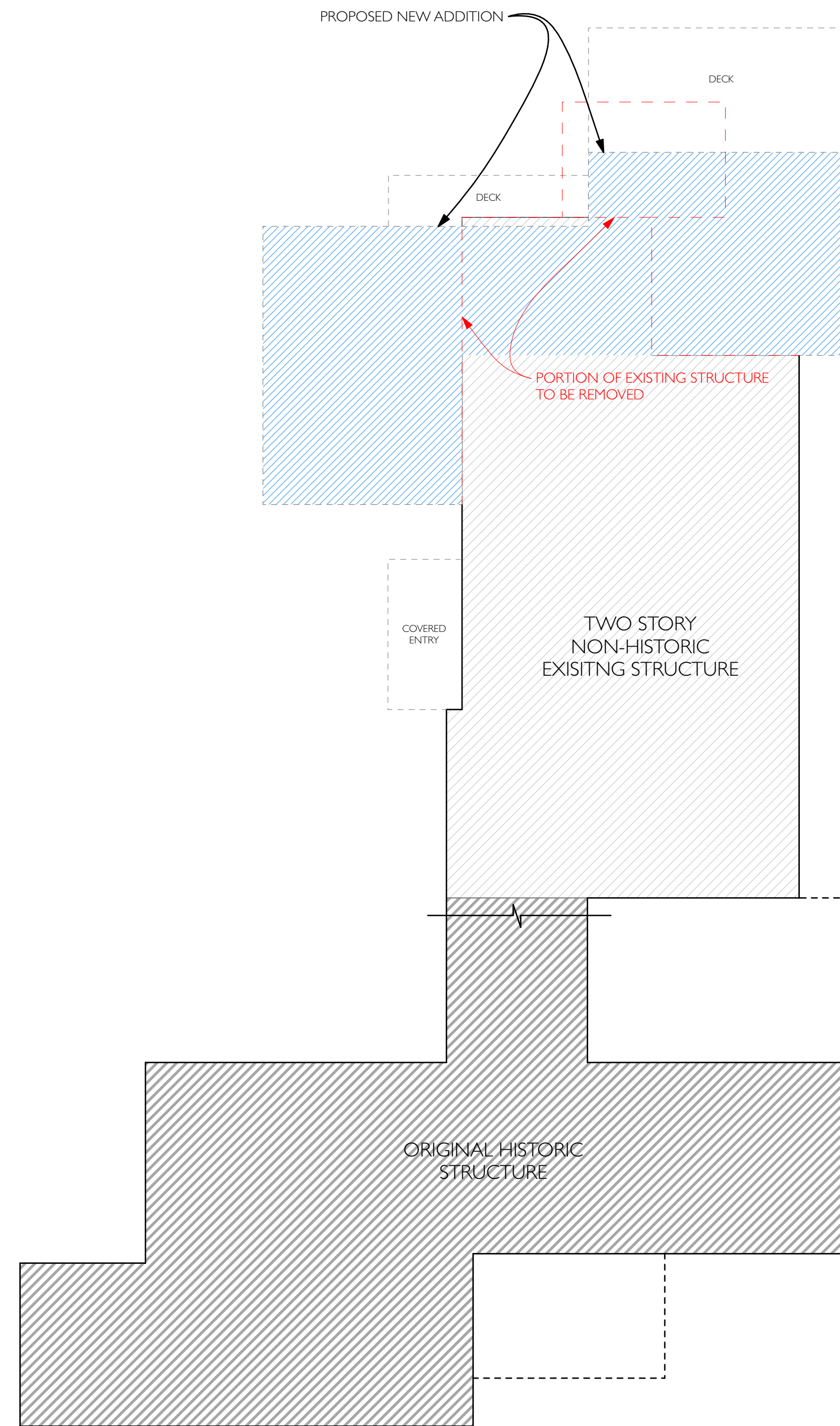
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NOT FOR CONSTRUCTION



EXISTING SQUARE FOOTAGE

SCALE: 1/8" = 1'-0"



PROPOSED SQUARE FOOTAGE

SCALE: 1/8" = 1'-0"

EXISTING SQUARE FOOTAGE	
NAME	AREA (SQ)
EXISTING TOTAL	4100.5
SQUARE FOOTAGE REMOVED	180
SQUARE FOOTAGE ADDED	786
REVISED TOTAL	4706.5 FT ²

NOT FOR CONSTRUCTION



SET: DATE:

PROJECT NAME: **DEL PRETE RESIDENCE**
 ADDRESS: **217 INDIAN HILL ROAD, WEST TISBURY, MA**
 SHEET TITLE: **EXISTING AND PROPOSED SQUARE FOOTAGE**

DRAWN BY: **TS/MT/AT**

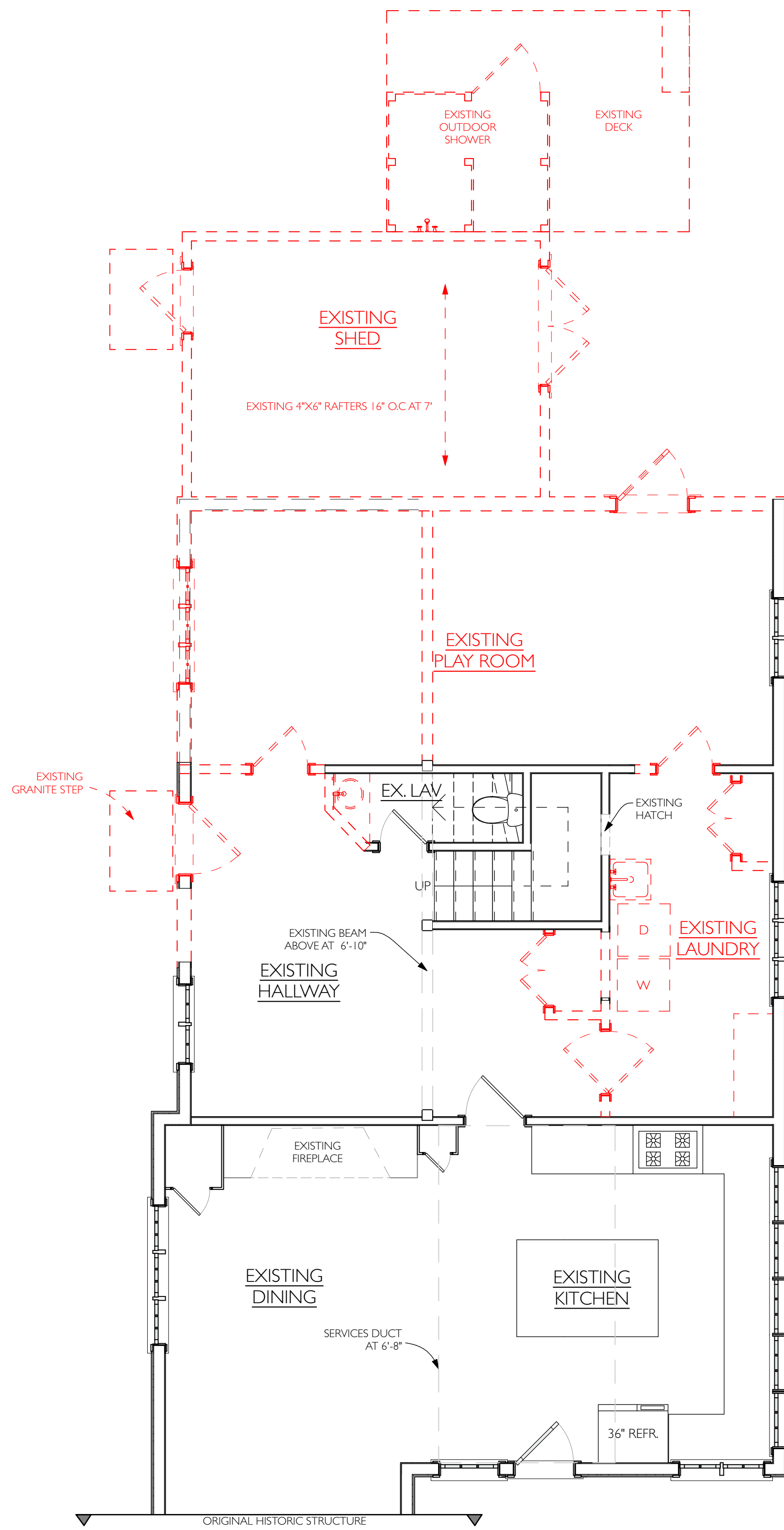
DATE: **2022-04-26**

MAP/PARCEL: **15-7**

JOB #: **21D01**

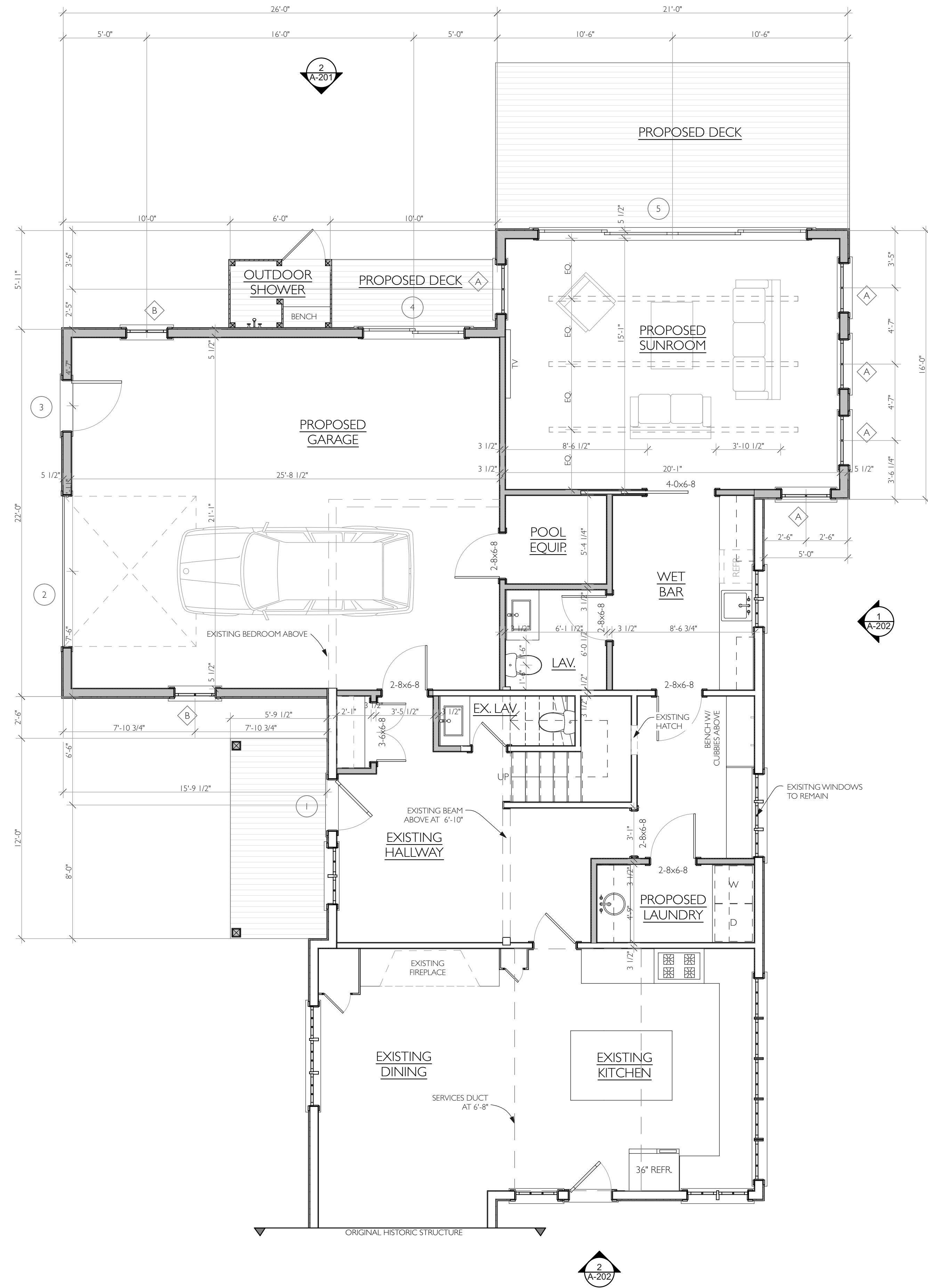
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A-002



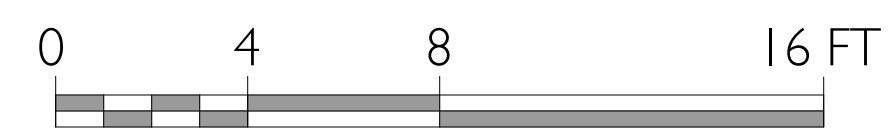
FIRST FLOOR PLAN - DEMO

SCALE: 1/4" = 1'-0"

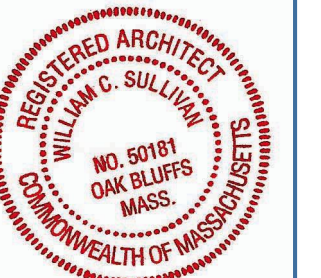


FIRST FLOOR PLAN-PROPOSED

SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION



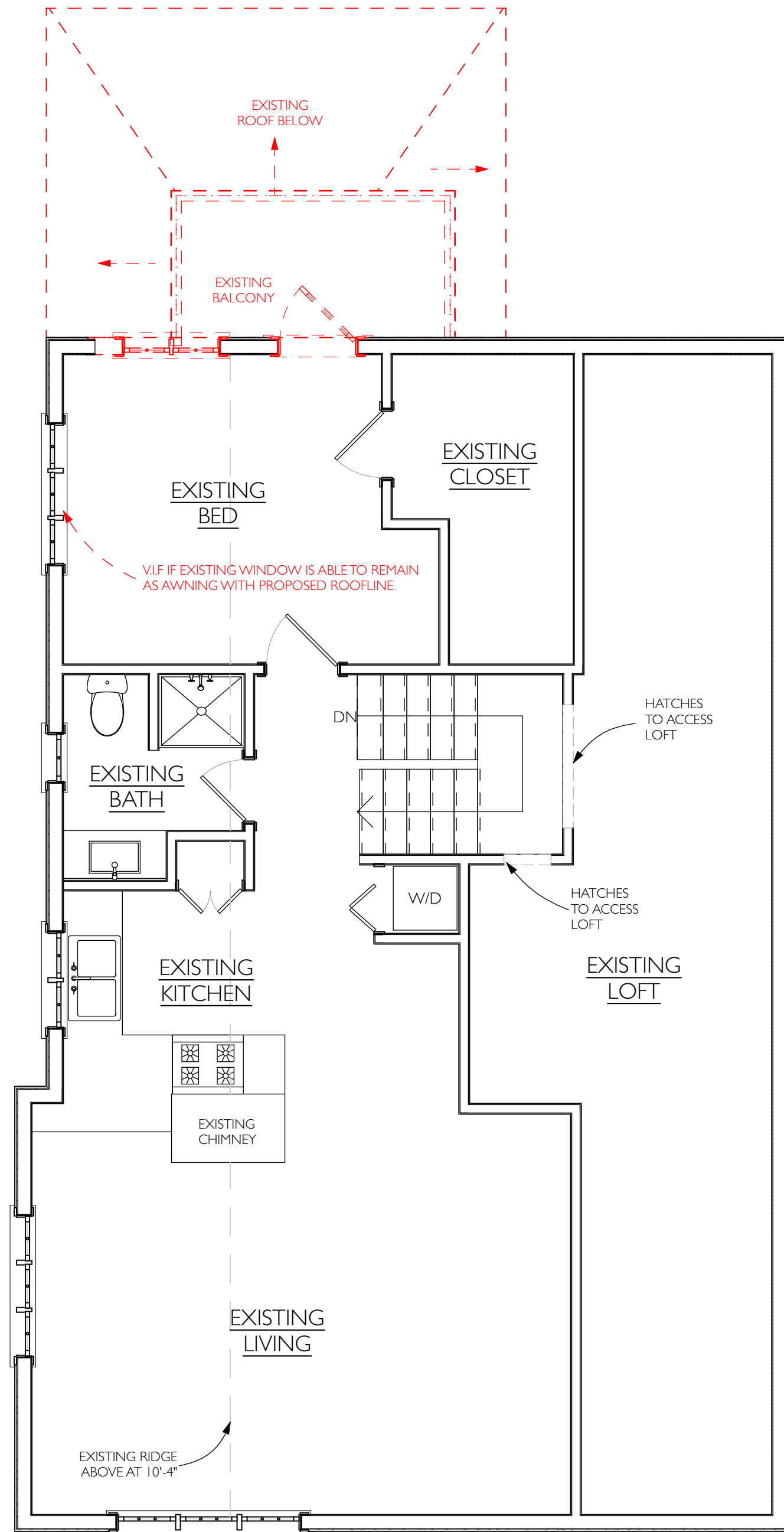
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DEL PRETE RESIDENCE
217 INDIAN HILL ROAD, WEST TISBURY, MA
FIRST FLOOR PLAN

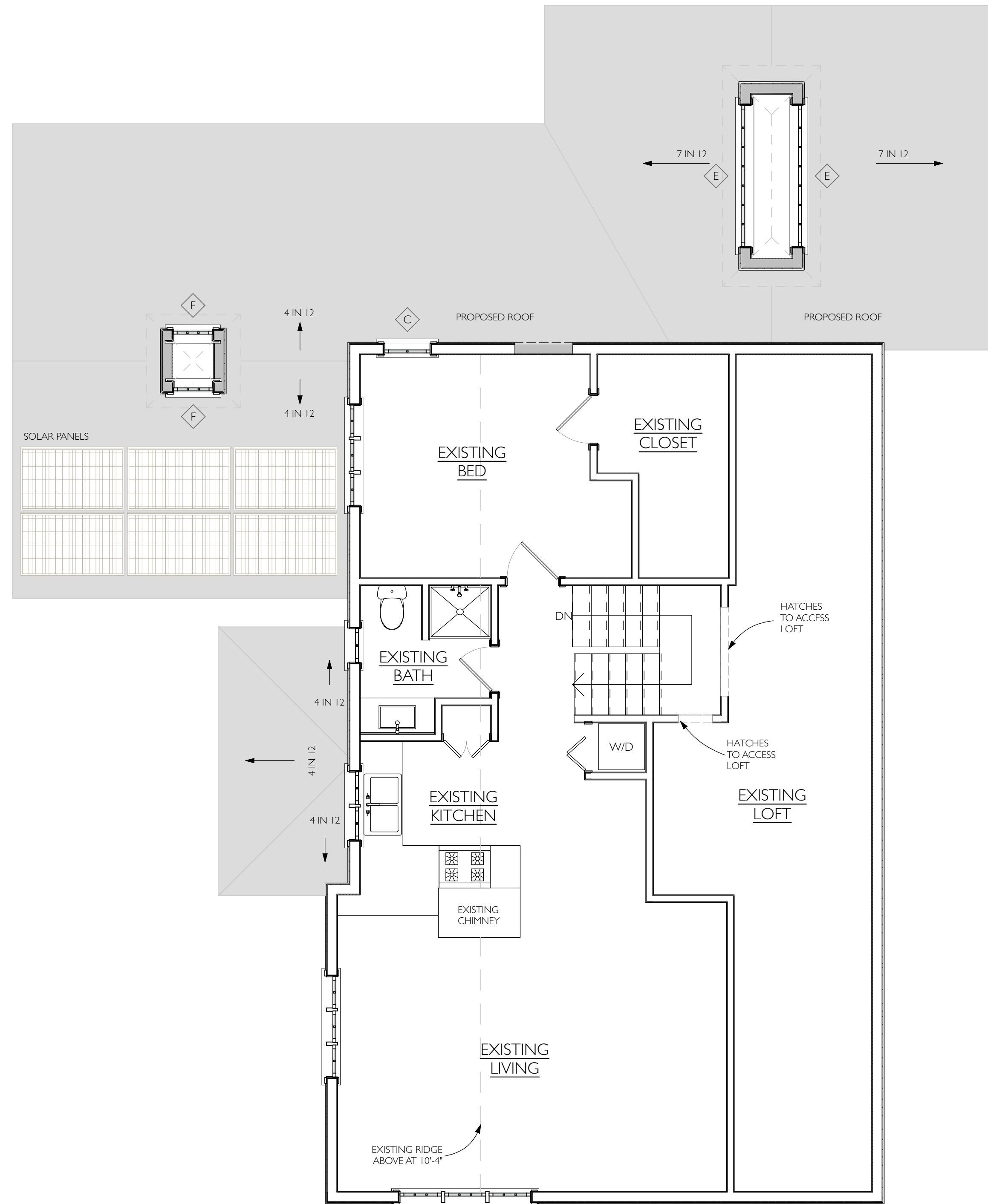
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DATE:
MAP/PARCEL:
JOB #:
DRAWING #:

TS/MT/AT
2022-04-26
15-7
21D01

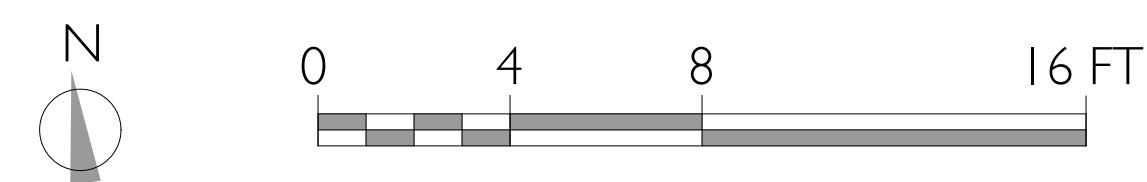
A-101



SECOND FLOOR PLAN - DEMO
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN-PROPOSED
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION



SET:	DATE:

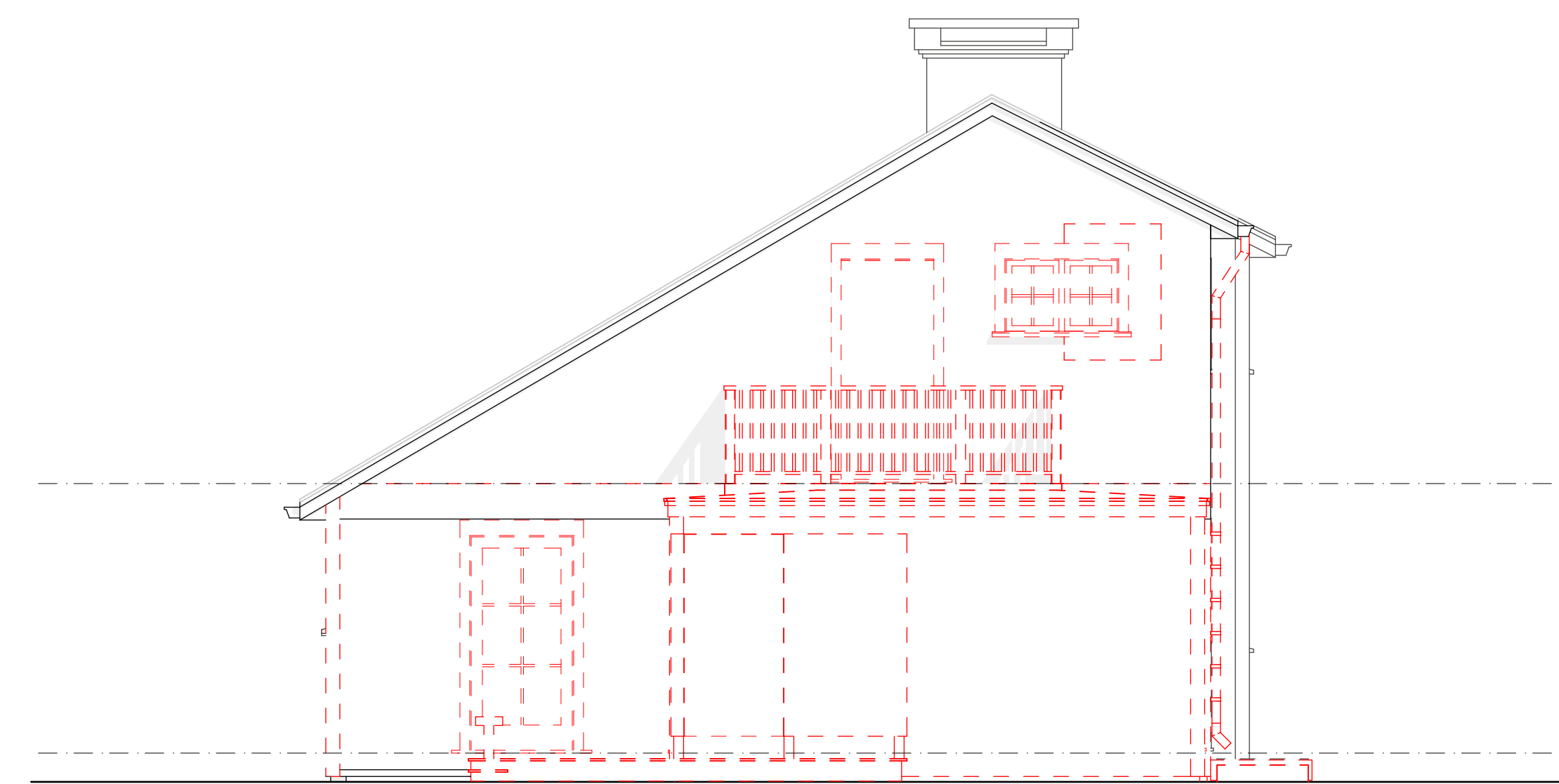
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ADDRESS: **217 INDIAN HILL ROAD, WEST TISBURY, MA**
SHEET TITLE: **SECOND FLOOR PLAN**

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DATE: **2022-04-26**
MAP/PARCEL: **15-7**
JOB #: **21D01**
DRAWING #:



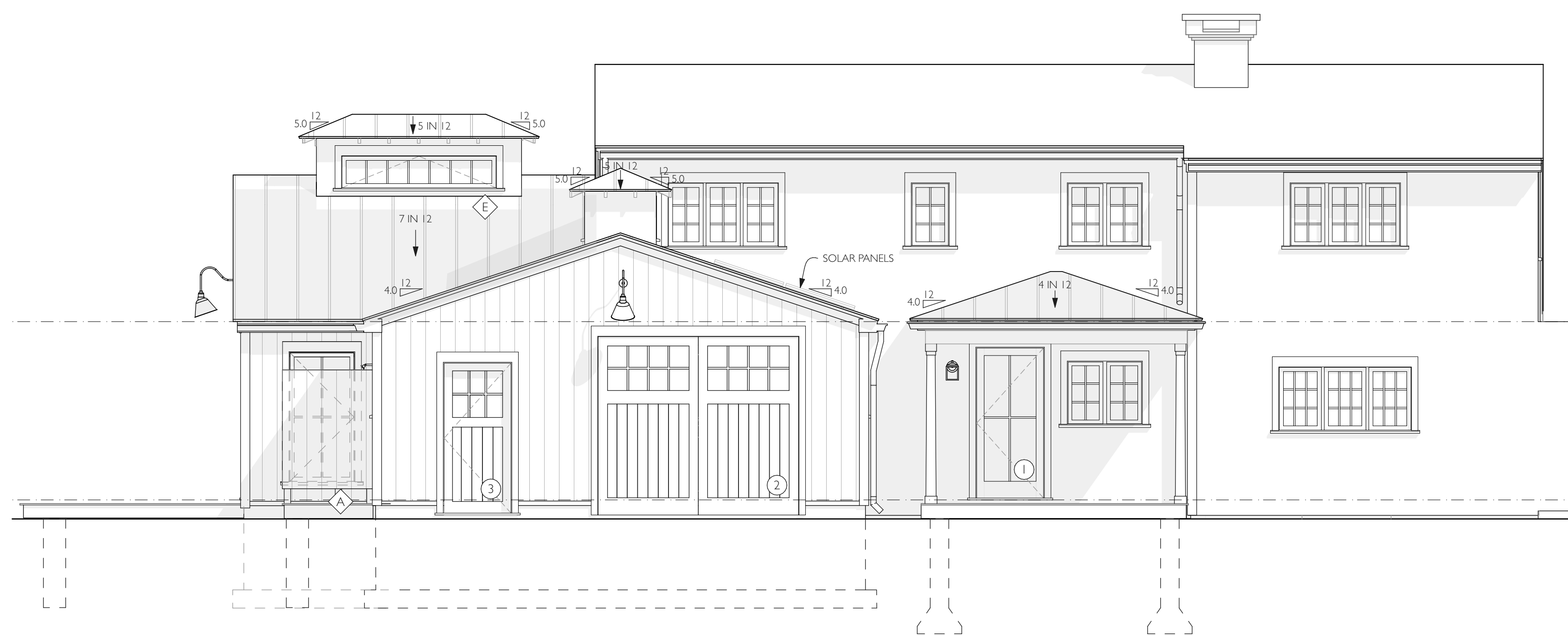
WEST ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



NORTH ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



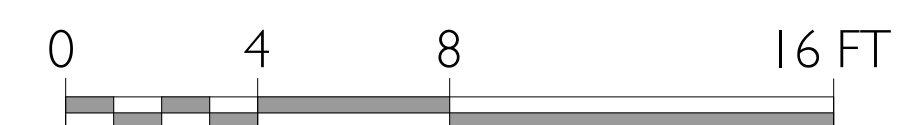
1 WEST ELEVATION-PROPOSED

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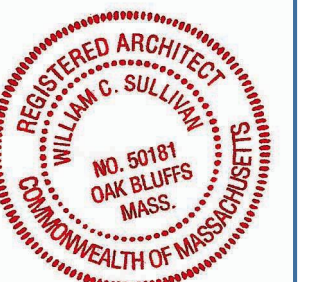


2 NORTH ELEVATION-PROPOSED

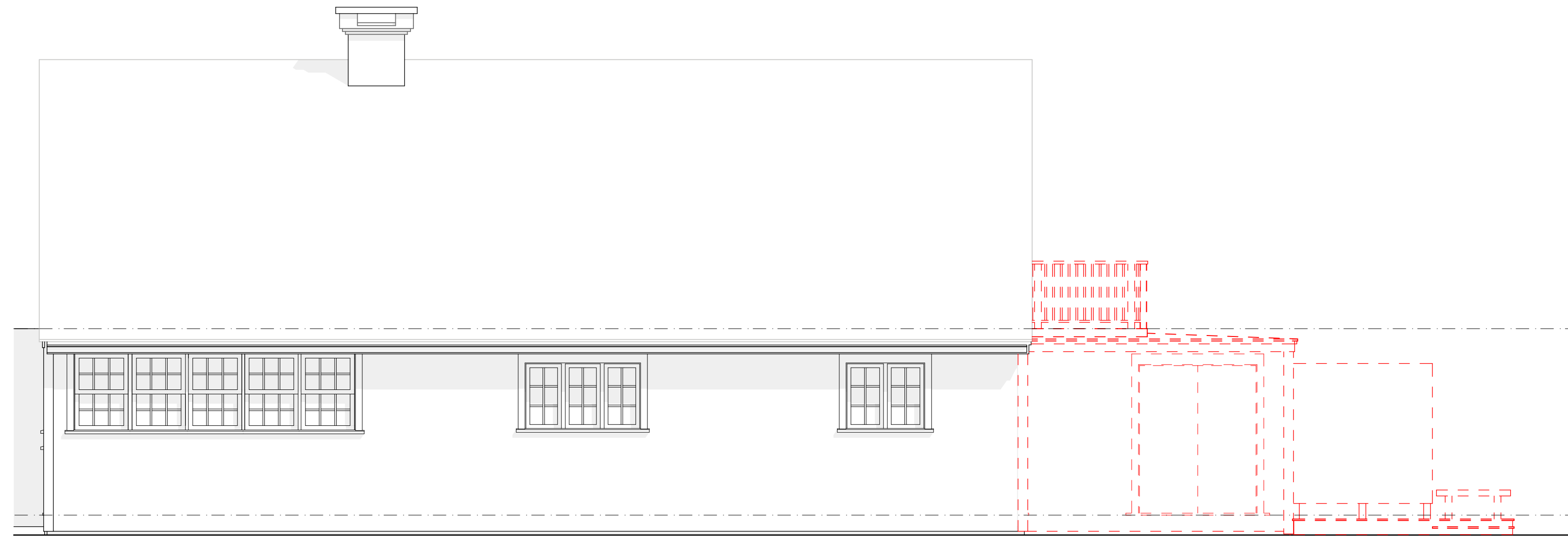
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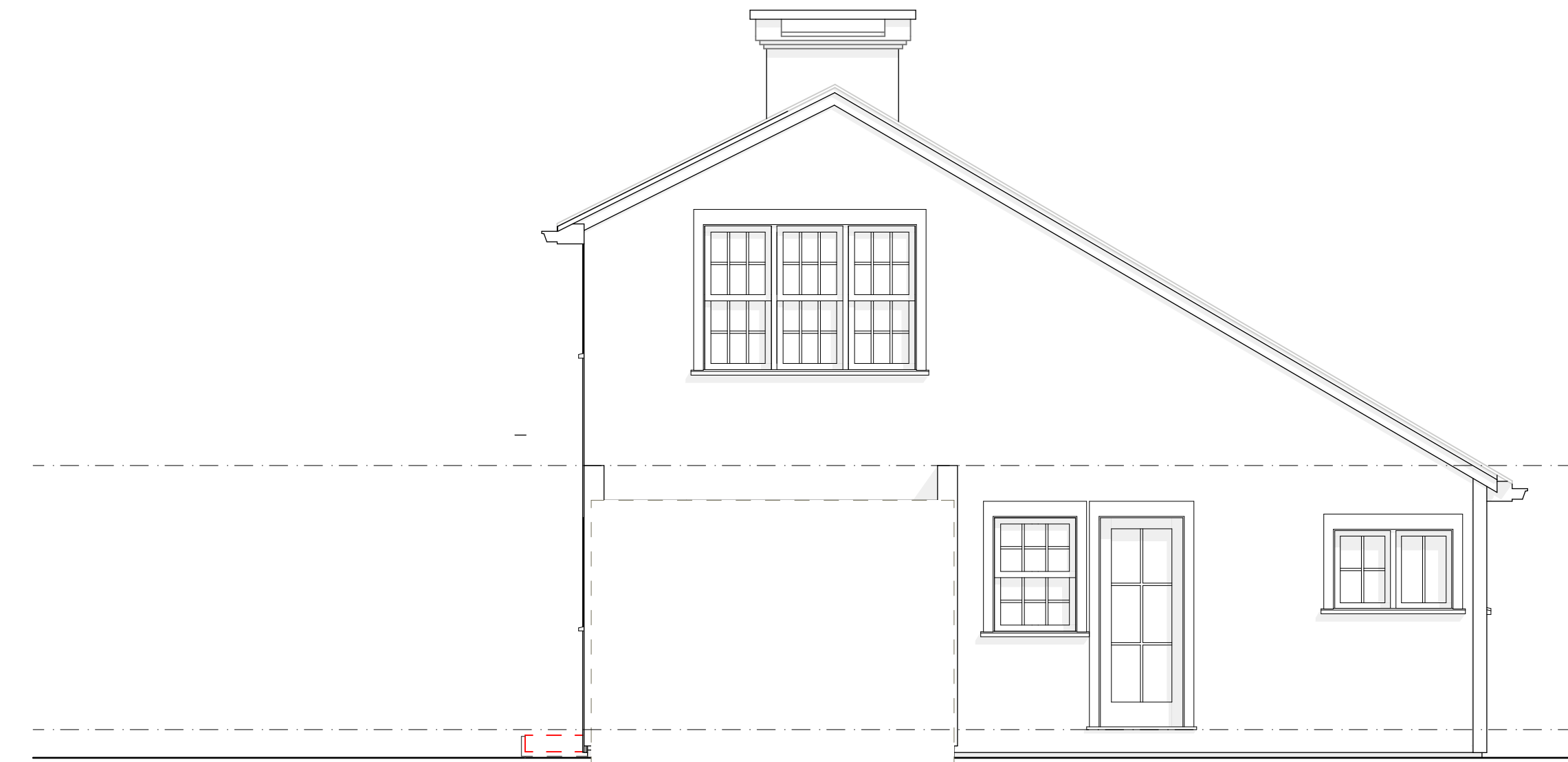


SET: DATE:



EAST ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION-DEMO

SCALE: 1/4" = 1'-0"



1 EAST ELEVATION-PROPOSED

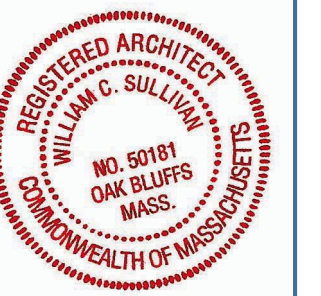
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



SET: DATE:

PROJECT NAME:
ADDRESS:
SHEET TITLE:

DRAWN BY:
TS/MT/AT

DATE: 2022-04-26

MAP/PARCEL: 15-7

JOB #: 21D01

DRAWING #:

FOUNDATION NOTES:

CONCRETE

1. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF THE OPENINGS FOR UNDERGROUND UTILITIES PRIOR TO ERECTION OF THE FORMS AND POURING OF THE CONCRETE.
2. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI WITH MAXIMUM 1" AGGREGATE AND MAXIMUM 6% AIR ENTRAINMENT FOR EXTERIOR CONCRETE EXPOSED TO MOISTURE.

FOUNDATIONS:

1. THE ALLOWABLE PRESUMED SOIL BEARING CAPACITY IS 2000 PSF, WHICH IS TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION.

DESIGN CRITERIA:

FOUNDATIONS:

- FOOTINGS TO BE 3000 PSI CONCRETE W/ REINFORCING
- FOUNDATION WALLS TO BE 3000 PSI CONCRETE
- FLOORS AND SLABS TO BE 2500 PSI CONCRETE

COMPACTED FILL:

1. FOOTINGS TO REST ON FIRM UNDISTURBED SOIL OR COMPACTED FILL 95% OF MAXIMUM DRY DENSITY.
2. ALL SOFT/ORGANIC OR UNSTABLE AREAS SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL.

DESIGN CRITERIA:

SOIL CONDITIONS:

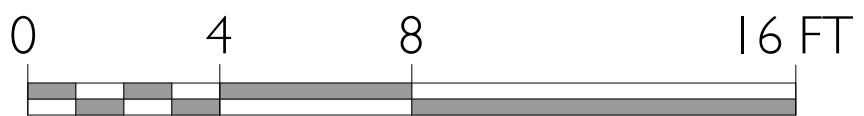
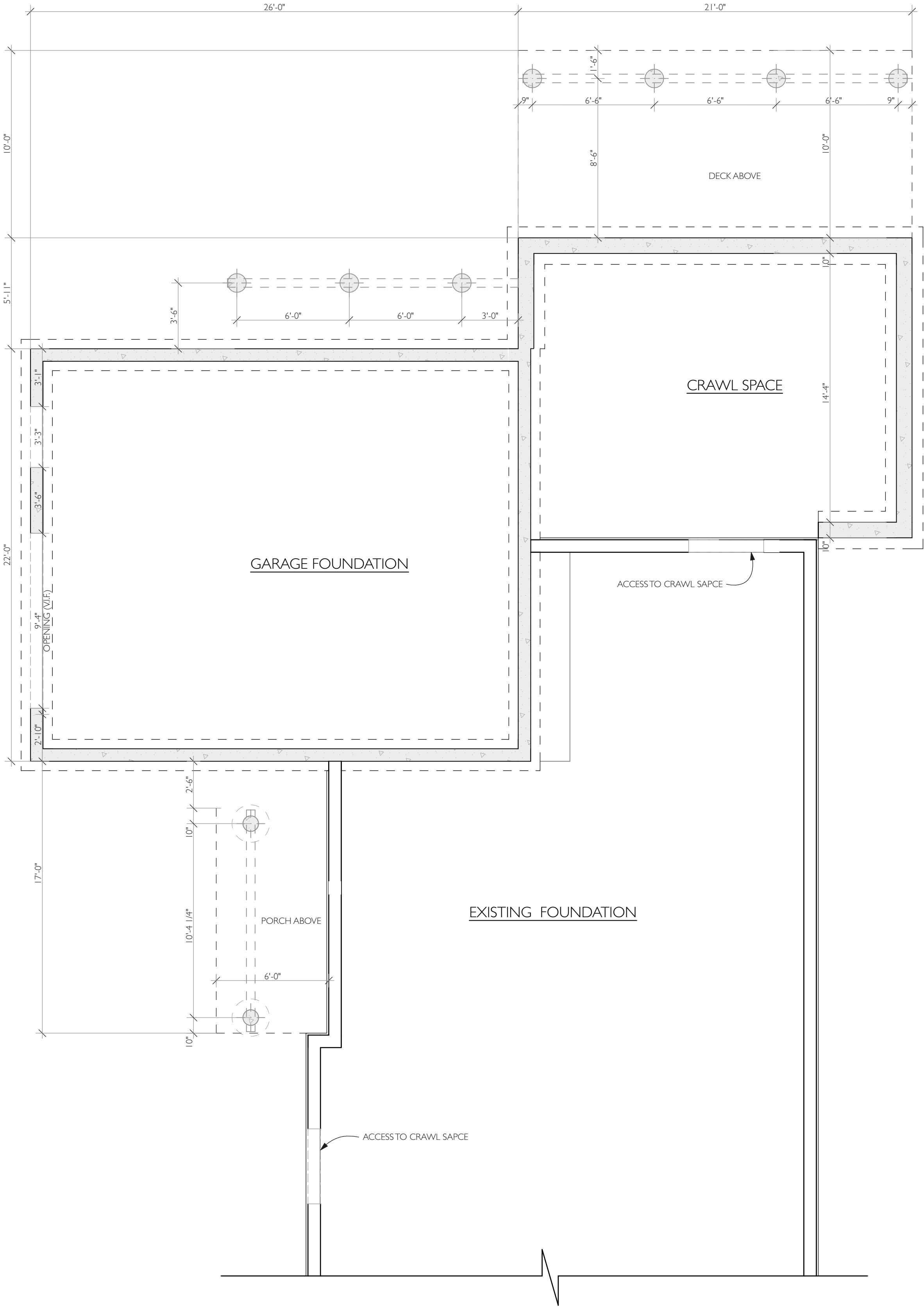
- ASSUMED SOIL BEARING 2000 PSF MIN.
- CONTRACTOR TO VERIFY CONDITIONS

PERIMETER FOUNDATION:

1. CONTRACTOR TO PROVIDE AND INSTALL PERIMETER DRAINAGE SYSTEM (AS REQUIRED PER SITE CONDITIONS)

FOUNDATION PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

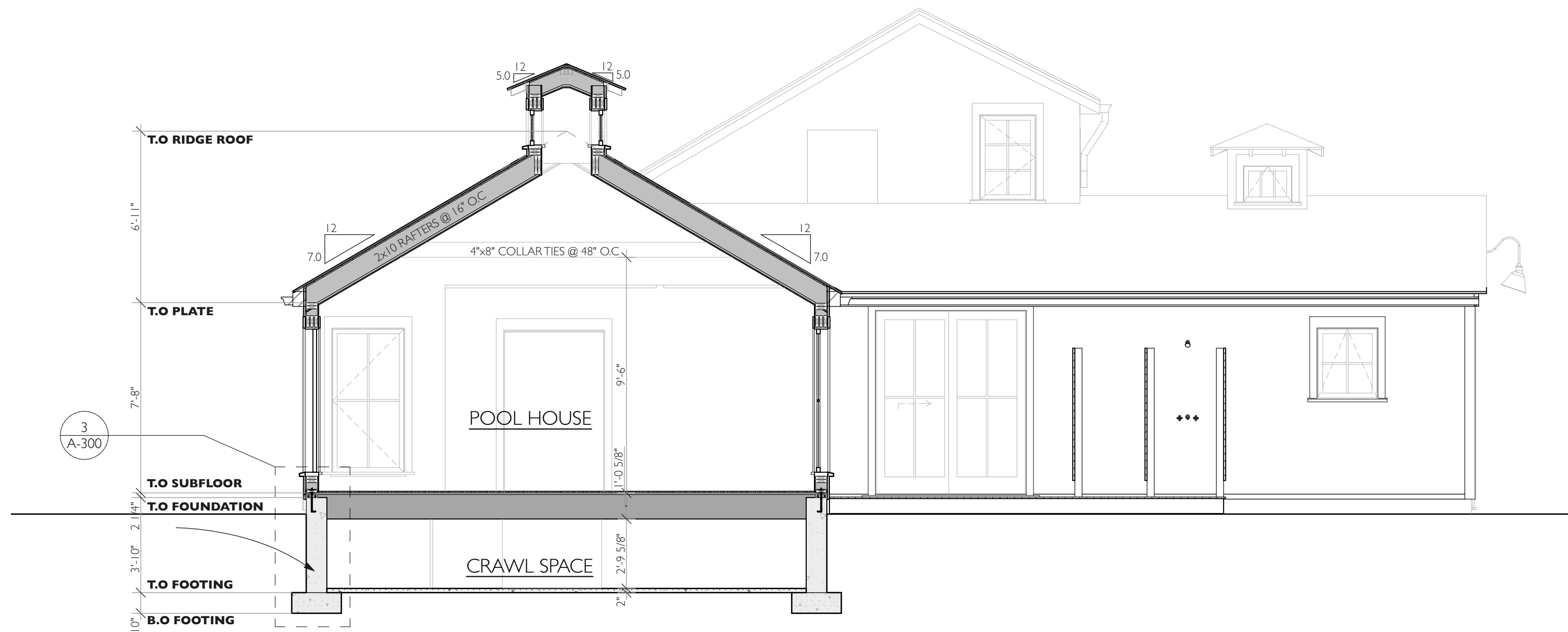


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SET:	DATE:

PROJECT NAME: DEL PRETE RESIDENCE
ADDRESS: 217 INDIAN HILL ROAD, WEST TISBURY, MA
SHEET TITLE: FOUNDATION PLAN

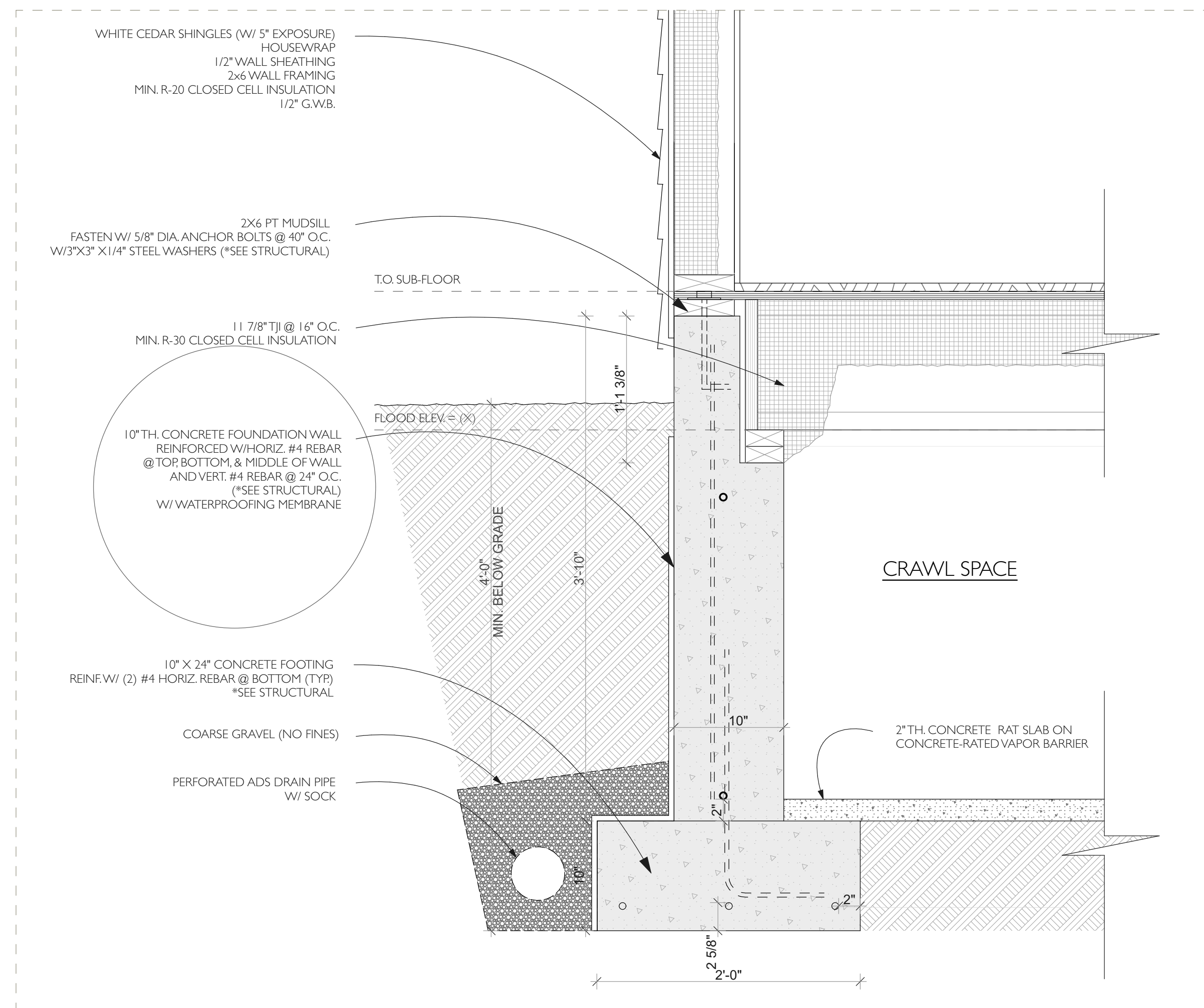
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DATE: 2022-04-26
MAP/PARCEL: 15-7
JOB #: 21D01
DRAWING #:



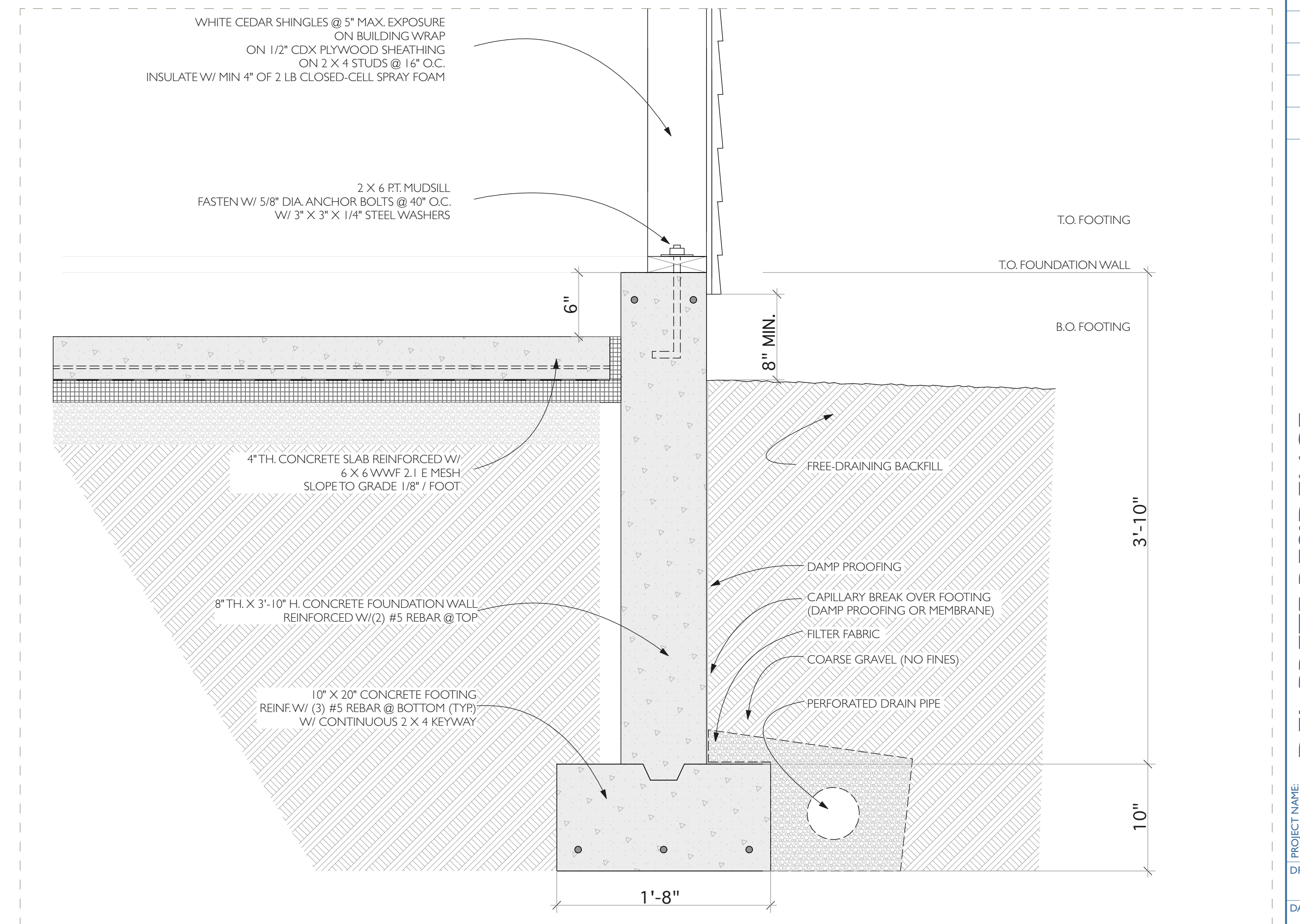
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



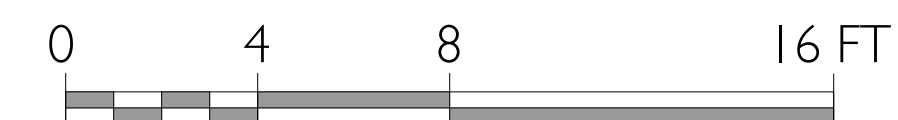
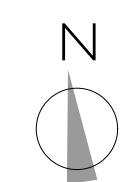
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 FDN CRAWLSPACE
SCALE: 1 1/2" = 1'-0"



4 FDN SLAB
SCALE: 1 1/2" = 1'-0"



NOT FOR CONSTRUCTION

SET:	DATE:

PROJECT NAME:	DEL PRETE RESIDENCE
ADDRESS:	217 INDIAN HILL ROAD, WEST TISBURY, MA
DRAWN BY:	TS/MT/AT
DATE:	2022-04-26
MAP/PARCEL:	15-7
JOB #:	21D01
DRAWING #:	